

STATE OF LOUISIANA
Department of Public Safety and Corrections
Office of State Fire Marshal Code Enforcement and Building Safety
8181 Independence Boulevard
Baton Rouge, Louisiana 70806
225-925-4920

H "BUTCH" BROWNING
FIRE MARSHAL

BUILDING REHABILITATION

BRIAN ANDERSON
AGL COMMERCIAL INTERIORS
433 METAIRIE ROAD
SUITE 208
METAIRIE, LA 70005-0000

RE: P0465477
FIRST BANK AND TRUST - SUITE 1700
909 POYDRAS STREET
NEW ORLEANS, LA 70112-0000

NFPA 101, 2012
IBC, 2012 (CHAPTERS 9 & 10)

BUSINESS

Dear Applicant:

This is to advise that we have reviewed the drawings and specifications for the subject proposed construction and have determined that they appear to satisfactorily comply with the adopted laws, codes, rules and regulations of The State Fire Marshal subject to the following requirements:

1. **Scope of Work: This review is for a 12,723 sf renovation of a business occupancy on the 17th floor of a 36 story high rise building with a supervised automatic sprinkler system and a fire alarm system.**
2. **LAC 55:V:307 Periodic observation of construction shall be made by a licensed architect or civil engineer. The enclosed Certificate of Completion containing the signature(s) of the responsible design professional(s) shall be presented to the Inspector at time of final inspection for occupancy.**
3. **This review applies to new work indicated in the drawings and does not apply to existing non-conforming conditions.**
4. **101:4.6.10.1 Buildings or portions of buildings shall be permitted to be occupied during construction, repair, alterations, or additions only if all means of egress and all fire protection features are in place and continuously maintained for the portion(s) occupied.**

NOTE: THE FOLLOWING COMMENTS IDENTIFY ISSUES FOR INFORMATIONAL AND CAUTIONARY PURPOSES OR ISSUES THAT COULD NOT BE VERIFIED IN THE SUBMITTED DOCUMENTS.

5. **A REVIEW FOR COMPLIANCE WITH THE FIRE PROTECTION AND EGRESS REQUIREMENTS OF CHAPTERS 9 AND 10 OF THE INTERNATIONAL BUILDING CODE IS INCLUDED IN THIS REVIEW. Review for compliance with all other requirements of the LOUISIANA STATE UNIFORM CONSTRUCTION CODE, in accordance with Act 12 of the 2005 First Extraordinary Session of the Louisiana Legislature, IS NOT INCLUDED IN THIS REVIEW. Contact the building official of the applicable political subdivision to coordinate compliance with**

Apr 16, 2015
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these requirements. LRS 40:1730.23 mandates the enforcement of building codes by municipalities and parishes in Louisiana, as described by LRS 40:1730.28.

Note: In accordance with LRS 40:1730.39.A, this office may establish contract agreements with municipalities and parishes in order to provide uniform construction code enforcement on their behalf, as provided in LRS 40:1730.24. Please visit our web site at <http://www.dps.state.la.us/sfm/index.htm> for a current list of jurisdictions requesting plan review by this office, a fee schedule, and a checklist of information required for review.

PROVIDE A DUPLICATE SET OF PLANS AND SPECIFICATIONS TO THE BUILDING OFFICIAL (OR THIRD-PARTY) FOR REVIEW AND/OR PERMITTING, THE STATE FIRE MARSHAL REVIEWED AND STAMPED DOCUMENTS SHALL NOT BE USED FOR THIS PURPOSE. ADDITIONAL MARKING OR ALTERATIONS MADE TO THE APPROVED STAMPED PLANS MAY CAUSE DELAYS IN FINAL ACCEPTANCE FOR OCCUPANCY.

6. **LRS 40:1731-(Effective 10/01/11) Provide access for persons with disabilities in accordance with the ADA-ABA Accessibility Guidelines, July 23, 2004 (also known as the 2010 Standards). This does not include a review for compliance with the Federal Americans with Disabilities (Civil Rights) Act of 1990. NOTE: As per ADA-ABA 2004, Section F103, Office of State Fire Marshal appeal determinations are not valid for facilities that are designed, constructed, altered, or operated with federal funds, or leased by a federal agency. The authority having jurisdiction over such appeals is the administrator of the General Services Administration (GSA). Compliance with state regulations and requirements does not guarantee compliance with federal law.**

"CAUTIONARY/INFORMATIONAL" items and paragraph references are noted as follows:

- a) 202.3 If existing elements, spaces, or common areas are altered, then each such altered element, space, feature, or area shall comply with the accessibility requirements for NEW construction.
 - b) 302 Floor and ground surfaces shall be stable, firm, and slip-resistant.
 - c) 303 Thresholds shall comply with requirements of this section regarding changes in level. (Not more than 1/2" height and beveled if over 1/4")
 - d) 404.2.7 Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 309.4. Hardware shall not require tight grasping, tight pinching, or twisting of the wrist to operate.
 - e) 404.1 Doors, doorways, and gates that are part of an accessible route shall comply with 404.
 - f) 212 The sink in the break-room or kitchenette shall be provided with clear floor space, knee clearance, AND a 34" maximum height to the sink rim as per Section 606.
7. **Modifications to the existing sprinkler system shall be in accordance with NFPA 13, 13R or 13D as applicable.**
- a) **LRS 40:1574 Submit automatic sprinkler system shop drawings with plan review application, SPRINKLER SYSTEM REVIEW CHECKLIST & FEE SCHEDULE dated 01-20-13, and fee prior to installation of any work to this system.**

Note: See Interpretive Memorandums 2013-02 and 2013-03 for submittal requirements.

Sprinkler shop drawing submittals are required to be reviewed by the professional of record/owner before being submitted to the Office of State Fire Marshal plan review section. Shop drawings reviewed by the professional of record shall bear his/her shop drawing review stamp indicating reviewed/no exceptions taken. See Interpretive Memorandum 2013-02. In order to expedite the review process, requests by the SFM reviewer for additional information will be sent both to the professional of record/owner and the sprinkler contractor. Contractor will be permitted to respond back to the SFM reviewer and copy the professional of record/owner with their response. Additional information will not require a shop drawing review stamp. **Note:** this does not include the response sent as a result of Request for Information letter.

Be advised that a sprinkler system that satisfies the requirements of NFPA 101 Life Safety Code, NFPA 13, NFPA 13R and/or NFPA 13D may not necessarily be considered by the building insurance underwriters as "full coverage" or "fully sprinklered", for insurance purposes.

NFPA 13:4.3, 23.1.4 (2013 edition) Complete and submit owner's information certificate to system designer in order to identify special occupancies and commodity classifications before start of design. Form can be found in the SFM website/Building Safety/Sprinklers (<http://sfm.dps.louisiana.gov/>).

NFPA 13:10 Underground piping shall be installed in accordance with chapter 10. See 10.6 for specific requirements for piping run under buildings.

Cities, Parishes and Water Purveyors (for example Baton Rouge Water Works Company) may have requirements for meters, single detector check valves, and double check and RPZ valves to be installed near the public water supply. These valves while not necessarily required by NFPA 13 are required to be listed for fire protection service when installed. The pressure loss across these valves is to be included in the sprinkler system calculations. Please verify that supporting documentation for these valves and meters are included with the sprinkler shop drawing submittal.

NFPA 25:4.1.2* Accessibility. The property owner or occupant shall provide ready accessibility to components of water-based fire protection systems that require inspection, testing, or maintenance.

8. LRS 40:1664.4 All work and inspections of LIFE SAFETY AND PROPERTY PROTECTION SYSTEMS and equipment shall be performed by a contractor licensed with the appropriate endorsement by the Office of the State Fire Marshal.
9. Shop drawings for fire protection systems, such as Fire Alarm, Sprinklers, and Suppression Systems, that are required to be submitted to this office for review, shall be routed through the "Professional of Record's" (Architect / Engineer) office, and shall be stamped with his "Shop Drawing Review Stamp" or equivalent, indicating that shop drawings have been reviewed by him for conformance with plans, specifications, and appropriate codes.
10. LAC 55:305 Insulation and insulation assemblies shall meet the requirements of Section 720, International Building Code, 2012 Edition.
 - a) Concealed and exposed insulation shall have a flame spread of 0-25 and a smoke developed of 0-450 in accordance with IBC 720.
 - b) Cellulose fiber thermal insulation shall meet the requirements of paragraph IBC 720.
 - c) Foam plastic insulation shall meet the requirements of IBC 720 and 2603.
 - d) Thermal barriers shall protect foam plastic insulation in accordance with IBC 2603.4.
 - e) Thermal barriers are not required if ignition barriers complying with IBC 2603.4.1.6 protect foam plastic insulation used in attics or crawl spaces, where entry is made only for service of utilities.
11. LRS 40:1711 Provide safety glazing in hazardous locations.
12. 101:7.2.1.2.3.2, 101:7.1.5.1, and IBC 1008.1.1 A doorway in a means of egress shall provide at least 32" in clear width (consider installing 36" wide doors) and at least 6'-8" in nominal height. Where a pair of doors is provided, at least one leaf shall comply with clear width requirement.

13. 101:7.2.1.3.1, 101:7.1.6.3, and IBC 1008.1.5 through 1008.1.7 The floor elevation shall not change by more than 1/2" from one side of a door to the other.
14. 101:38.3.3 Interior walls and ceilings shall have a flame spread of 0-200 and a smoke development rating of 0-450.
15. 101:7.2.1.5 and IBC 1008.1.9 Locks on doors in means of egress shall not require the use of a key, special device or special knowledge to open in the direction of egress.
16. 101:7.2.1.5.10.2 and IBC 1008.1.9.4 through 1008.1.9.5 Doors shall be openable with ONLY one releasing operation. A two-step release, such as a knob and an independent slide bolt, is NOT acceptable, except under special conditions.
17. 101:8.3.5 Penetrations through rated construction shall be sealed by approved firestop systems or devices tested in accordance with ASTM E-814 or ANSI/UL 1479.
 - a) Notify the District Office identified at the end of this letter for inspection of all completed fire and/or smoke barrier walls before any construction is installed that would conceal such construction and prevent a proper inspection. Access to randomly selected areas may be required by the inspector at time of final inspection if this notification is not given.
 - b) Provide detailed instructive cut sheets of the fire penetration sealing system used to the inspector at time of inspection. Random selective sampling by the contractor will be observed by the inspector.
18. LAC 55:V:303.D Provide listed portable fire extinguishers in accordance with NFPA 10. (Refer to Appendix E for distribution information.)
 - a) NFPA 10:5.2 Classifications for fires:

Class A fires-fires in ordinary combustible materials, such as wood, cloth, paper, rubber and many plastics.

Class B fires-fires in flammable liquids, combustible liquids, petroleum greases, tars, oils, oil-based paints, solvents, lacquers, alcohols and flammable gases.

Class C fires-fires that involve energized electrical equipment.

Class D fires-fires in combustible metals, such as magnesium, titanium, zirconium, sodium, lithium, and potassium.

Class K fires-fires in cooking appliances that involve combustible cooking media (vegetable or animal oils and fats.) (FOR USE ONLY AFTER ASSOCIATED FIRE SUPPRESSION SYSTEM HAS ACTIVATED AND ELECTRICAL POWER TO THE COOKING APPLIANCES HAS SHUNTED)
19. Compliance with the 2011 NFPA 70, National Electrical Code (NEC), is mandated by RS 40:1730.28.A(7). Contact the local Building Official of the applicable local political subdivision or a Louisiana State Uniform Construction Code Council registered third-party provider to verify plan review and inspection requirements of the proposed electrical work.
 - a) 101:38.2.9 and IBC 1006 Provide emergency lighting according to 101:7.9 and IBC 1006.3.
 - b) 101:38.2.10 and IBC 1011 Exit signs complying with 101:7.10 and IBC 1011 shall define exits and access to exits where the exit is not immediately apparent.
20. HVAC system shall be constructed in accordance with 101:9.2.
 - a) 101:9.2.1 Install smoke detectors to automatically stop the fan in HVAC duct systems over 2000 cfm in accordance with NFPA 90A:6.4.2.1(1). Where fire alarm system is required, duct detectors shall be connected to building alarm system.
21. NOTE: Please mail all correspondence related with this project to:

**NEW ORLEANS PLAN REVIEW
Office of State Fire Marshal
1450 Poydras St.
Suite 1500
New Orleans, LA 70112**

Contact the reviewer at 504.568.8509 (fax: 504-568-8511), if you have any questions regarding this project.

22. NOTE: Please IDENTIFY THIS PROJECT NUMBER WITH FUTURE SUBMITTALS OR OTHER CORRESPONDENCE pertaining to this project.

Changes to construction in the field which are not consistent with the reviewed documents are not authorized unless reviewed by this office for compliance with Code. Modifications to reviewed plans must be submitted to this office by the Architect/Civil Engineer for review prior to final inspection. If an Architect or Civil Engineer is not required by RS 37:155, revisions shall be submitted by the Owner. Submittals shall include plans, completed application, a minimum \$55.00 review fee, and a copy of the most current plan review letter.

Compliance with code requirements for fire protection systems, such as Fire Alarm, Sprinkler and Suppression Systems, is determined by separate shop drawing submittal and is not included in this review.

This review applies to work indicated in the drawings or specifications. Existing portions of the facility or building unaffected by the new work shall comply with LAC 55:103B.

This review shall in no way permit and/or authorize any omissions or deviations from the specific requirements of the adopted codes, rules and regulations in accordance with R.S. 40:1574.1(B).

This review is valid for 180 days from the date of this letter. Construction permits must be issued and/or construction must commence within this time period.

This office requires certification of the completed project in accordance with the approved documents (certificate enclosed).

Occupancy of the project will not be permitted until we receive the completed certificate and a satisfactory inspection of the completed construction has been made by this office.

To arrange for inspection of the project, please contact the District Office at the phone number below two (2) to three (3) weeks in advance. The plans stamped reviewed by this office must be available on job site at time of inspection. Certificate of completion must be provided to the inspecting Deputy for final inspection.

REVIEWED BY:
JULIE LITTLE
ARCHITECT

NOTE: Please call the REVIEWER identified above if you have any questions regarding this review.
Do not call the Inspection Office until you are ready for inspection.

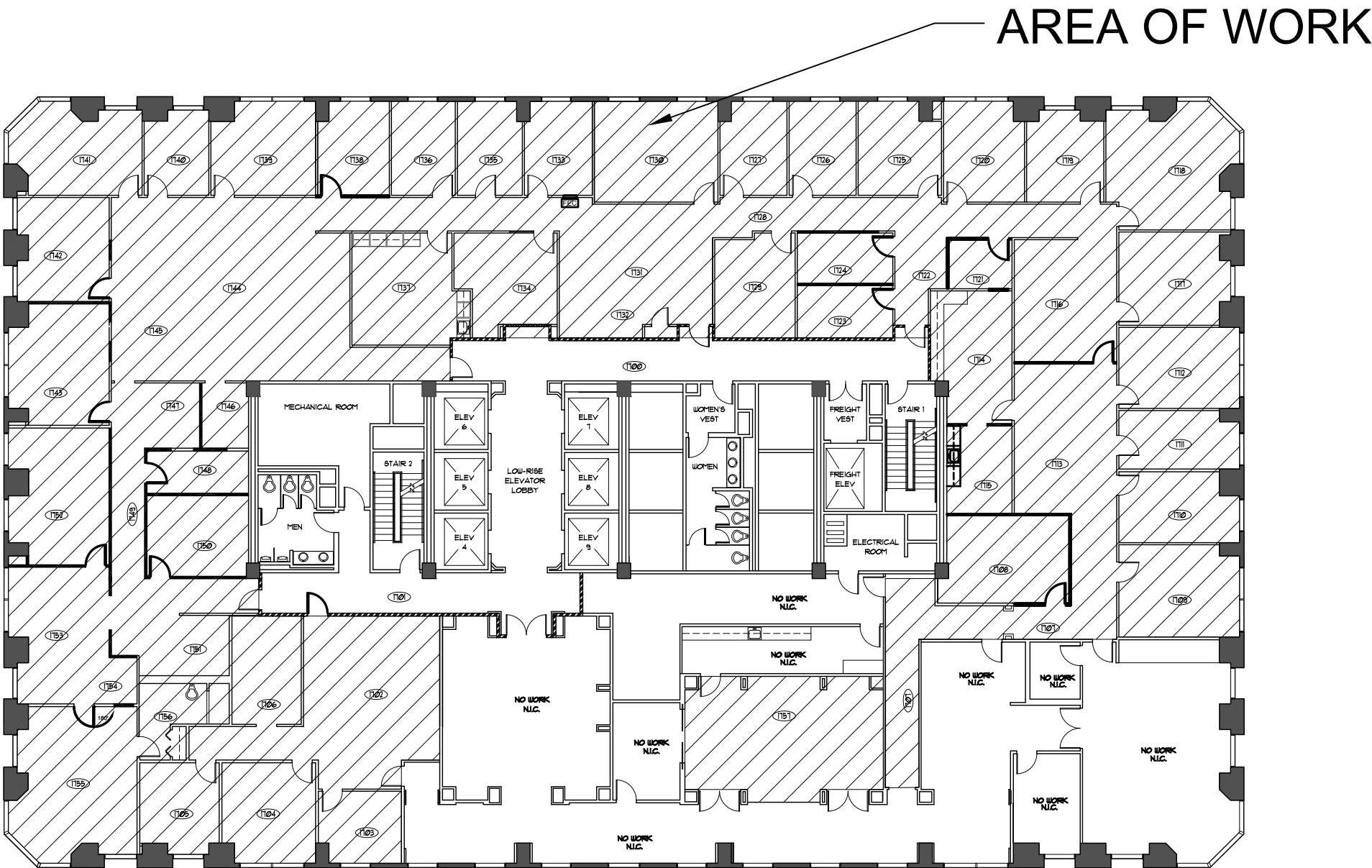
CC:
Hertz
First Bank And Trust
New Orleans City Plan Review*
New Orleans District Ofc* 5045688506

FIRST BANK & TRUST
INTERIOR RENOVATIONS
SUITE 1700

FIRST BANK & TRUST
909 POYDRAS STREET
NEW ORLEANS, LA 70112

ISSUED SET: 03-20-15

KEY PLAN



KEY PLAN
SCALE: N.T.S.

GENERAL NOTES TO
CONTRACTOR

1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
2. WORK ONLY FROM THE WRITTEN DIMENSION SHOWN. DO NOT SCALE DRAWINGS. WORK FROM ESTABLISHED LINES AND LEVELS. ESTABLISH DEPENDABLE MARKERS FOR LINES AND LEVELS OF THE WORK.
3. SURVEY EXISTING ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS LOCATIONS, AND COORDINATE WITH WORKING DRAWINGS PRIOR TO SUBMITTING A PRICE FOR THIS WORK. THIS WILL VERIFY THAT ALL NEW CONSTRUCTION AND EQUIPMENT INSTALLATIONS ARE COMPATIBLE WITH BOTH THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. ALL COSTS OF RELOCATION AND MODIFYING EQUIPMENT SHALL BE REFLECTED IN INITIAL PRICE PROPOSALS. CHANGE ORDERS OR JOB EXTRAS FOR SUCH WORK SHALL NOT BE APPROVED.
4. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK. ALL TRADES SHALL BE RESPONSIBLE FOR PERFORMING WORK IN ACCORDANCE WITH TRADE STANDARDS, AND ALL APPLICABLE CODES, LAWS AND REGULATIONS.
5. IF THE CONTRACTOR REUSES EXISTING LIGHT FIXTURES, EACH FIXTURE MUST BE CLEANED AND RE-LAMPED TO MATCH EXISTING FIXTURES.
6. THE CONTRACTOR SHALL REUSE CLEAN, UNDAMAGED CEILING TILES AND GRID SYSTEMS. LOCATE ONLY "LIKE" TILES TOGETHER IN THE SAME ROOMS OR AREAS. DO NOT MIX EXISTING TILES WITH THE NEW ONES.
7. THE CONTRACTOR SHALL INSPECT, CLEAN, REPAIR OR REPLACE ANY PORTION OF THIS WORK THAT IS EXISTING PRIOR TO CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO CEILING TILES, CEILING GRID, EXISTING FLOORING, EXISTING WALLS AND PARTITIONS, LIGHT FIXTURES, LENSES, GRILLS, DIFFUSERS, EXTERIOR GLAZING WALLS, MULLIONS, SILLS, GLASS, BLINDS, LOUVER DRAPES, DOORS, FRAMES AND HARDWARE. THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE REPAIR AND REPLACEMENT OF BASE BUILDING ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESENTING THE TENANT WITH A SPACE IN "LIKE-NEW" CONDITION.

PROJECT INFORMATION

PROJECT LOCATION: FIRST BANK AND TRUST
909 POYDRAS STREET
NEW ORLEANS, LOUISIANA, 70112

APPLICABLE CODE: 2012 NFPA 101 LIFE SAFETY CODE
2012 INTERNATIONAL BUILDING CODE
ADA ACCESSIBILITY GUIDELINES (ADAG)

PRIMARY OCCUPANCY: OCCUPANCY GROUP B
COMMERCIAL/ OFFICE

BUILDING FIRE PROTECTION: SPRINKLERED/FIRE ALARM SYSTEM

PROJECT SIZE: 12,129 USF AREA OF WORK

PROJECT DIRECTORY

BUILDING MANAGER: JEANNE RENDA
HERTZ INVESTMENT GROUP
909 POYDRAS ST., SUITE 1025
NEW ORLEANS, LA 70130
TEL: 504-584-5030
FAX: 504-584-5033
EMAIL: jrenda@hertzgroup.com

BUILDING CHIEF ENGINEER: MR. BOBBY SCHLOEGEL
HERTZ INVESTMENT GROUP
400 POYDRAS ST., SUITE 1160
NEW ORLEANS, LA 70130
TEL: (504) 299-3000
FAX: (504) 299-3001

PROJECT ARCHITECT
PROJECT MANAGER
CONTACT: MR. BRIAN E. ANDERSON, AIA.
MS. NITA RIGGIO
AGL COMMERCIAL INTERIORS
433 METAIRIE ROAD, SUITE 208
METAIRIE, LA 70005
TEL: (504) 888-9071
FAX: (504) 888-9073
EMAIL: nriggio@agldesigns.com

FIRST BANK & TRUST
PROJECT MANAGER
CONTACT: MS. KRISTAL JONES
FACILITIES/PURCHASING MANAGER
FIRST BANK & TRUST OPERATIONS CENTER
2008 RONALD REAGAN
COVINGTON, LA 70433
TEL: 504-566-7807
FAX: 504-564-5195
EMAIL: kjones@fotonline.com

PERMIT NOTES

AREA: 12,129 USF (AREA OF WORK)

OCCUPANCY: BUSINESS

CONSTRUCTION TYPE: TYPE 1A

SQUARE NO.: EXISTING OFFICE BUILDING N/A

ZONING CLASSIFICATION: COMMERCIAL

SHOP DRAWING SUBMITTALS TO THE FIRE MARSHAL'S OFFICE FOR FIRE ALARMS, SPRINKLERS AND SUPPRESSION SYSTEM, SHALL BE BY AND THROUGH THE "PROFESSIONAL OF RECORD" (ENGINEER) AND SHALL BE STAMPED WITH HIS "SHOP DRAWING REVIEW STAMP" OR EQUIVALENT, INDICATING THAT SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER FOR CONFORMANCE WITH PLANS, SPECIFICATIONS, AND APPROPRIATE CODES.

ALL SPRINKLER MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 13 2013.

AS REQUIRED BY NFPA 12 2010 THE FOLLOWING ITEMS SHALL BE IN ACCORDANCE WITH SMOKE ALARMS SECTION 9.6.2.10, SMOKE CONTROLS SYSTEM SECTION 9.3 AND FIRE ALARM AND COMMUNICATION SYSTEMS SECTION 9.6. IBC 2012 THE FOLLOWING ITEM SHALL BE IN ACCORDANCE WITH FIRE ALARM AND DETECTION SYSTEM SECTION 9.07.

SMOKE ALARMS SHALL BE INSTALLED ACCORDING TO NFPA 12 2010 NATIONAL FIRE ALARM CODE.

DOORS SHALL BE ARRANGED TO BE READILY OPENED FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE INSIDE OF THE BUILDING (NFPA 101 2012, SECTIONS 12.1.5.1 AND 12.1.5.2 AND IBC 2012, SECTIONS 1008.12 AND 1008.1.3).

ALL HARDWARE IN LOCKING CONDITIONS CANNOT BE LOCKED FROM THE INSIDE AND MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY. THIS IS TRUE FOR BOTH TENANT ENTRY AND EXIT DOORS, AS WELL AS TENANT INTERIOR OFFICE DOORS.

LOCKS ON DOORS IN MEANS OF EGRESS SHALL NOT REQUIRE THE USE OF A KEY. THIS IS TRUE FOR BOTH TENANT ENTRY AND EXIT DOORS, AS WELL AS TENANT INTERIOR OFFICE DOORS.

ALL EXIT SIGNS SHALL BE EMERGENCY TYPE, 4912 MCS.

ALL WALL COVERING AND ACOUSTICAL CEILING TILES SHALL BE CLASS "A" AND 90 LABELED.

INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF IBC 2012, SECTION 719.

BUILDINGS OR PORTIONS OF BUILDINGS SHALL BE PERMITTED TO BE OCCUPIED DURING CONSTRUCTION REPAIR, ALTERATIONS, OR ADDITIONS ONLY IF ALL FIRE PROTECTION FEATURES ARE IN PLACE AND CONTINUOUSLY MAINTAINED FOR THE PORTION OCCUPIED.

A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THROUGH ALL INTERVENING CONSTRUCTION TO THE ROOF DECK, FROM OUTSIDE WALL TO OUTSIDE WALL OR FROM FIRE BARRIER PROVIDE UL OR FM LISTED ASSEMBLY.

PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814.

ALL FLOOR OUTLETS (POKE THROUGH UL 232A) SHALL BE SEALED WITH A FIRE BARRIER SYSTEM THAT WILL MEET OR EXCEED THE FIRE RATING OF THE AREA SURROUNDING THE PENETRATION.

MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM SHALL BE IN ACCORDANCE WITH NFPA 12 2010, SECTION 9.6, IBC 2012, SECTION 9.07 AND ADA-AG, JULY 2004.

SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS WITH PLAN REVIEW APPLICATION AND FEE PRIOR TO INSTALLATION OF AND WORK OF THIS SECTION. SUCH WORK SHALL NOT COMMENCE UNTIL SHOP DRAWINGS HAVE BEEN FOUND TO BE IN COMPLIANCE WITH APPLICABLE CODES.

ALL WORK AND INSPECTIONS OF FIRE ALARM FIRE SUPPRESSION, AUTOMATIC SPRINKLER AND FIRE EXTINGUISHING SYSTEMS OR PORTABLE FIRE EXTINGUISHERS SHALL BE PERFORMED BY A STATE OF LOUISIANA CERTIFIED AGENT.

OWNER SHALL COMPLY WITH NFPA 70 2011 NATIONAL ELECTRICAL CODE, FOR ALL PROPOSED ELECTRICAL WORK IN THIS SUBMITTAL. ELECTRICAL WORK/ MODIFICATIONS MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: LIGHTING FIXTURES (INTERIOR, EXTERIOR AND SITE); RECEPTACLES; PANELS; SCHEDULES; SCHEDULES; UTILITY COMPANY OR SERVICE TRANSFORMER KVA SIZE, NUMBER OF PHASES, VOLTAGE AND SECONDARY SHORT CIRCUIT AMPS; FIXTURE SCHEDULES; WIRE TYPE, SIZE AND CIRCUITING; SINGLE LINE DIAGRAM; PROPERTY SIZED NEW AND EXISTING PROTECTIVE EQUIPMENT, INCLUDING SERVICE DISCONNECT (S); PANEL BREAKERS AND FUSED SWITCHES, SIZED FOR AVAILABLE SHORT CIRCUIT AMPS; PROPERLY SIZED SYSTEM GROUNDING CONDUCTOR AND GROUNDING ELECTRODE; CONNECTION OF THE SYSTEM GROUNDING AND BONDING AT THE SERVICE DISCONNECT ENCLOSURE; PROPERLY SIZED OVERLOAD OR OVER CURRENT AND SHORT CIRCUIT PROTECTIVE DEVICES FOR CONDUCTORS, MOTORS, TRANSFORMERS AND EQUIPMENT; PROPERLY SIZED CONDUCTORS FOR EQUIPMENT GROUNDING AND BONDING OF ALL METALLIC CONDUIT AND ENCLOSURES; INSTALLATION OF GROUND FAULT CIRCUIT RECEPTACLES; ETC.

INSTALL SMOKE DETECTORS TO AUTOMATICALLY STOP THE FAN IN HVAC DUCT SYSTEM OVER 2000 CFM IN ACCORDANCE WITH NFPA 90A: 4-4.2(1). WHERE FIRE ALARM SYSTEM IS REQUIRED, DUCT DETECTORS SHALL BE CONNECTED TO BUILDING ALARM SYSTEM.

SHEET INDEX

T1.0 TITLE SHEET
LS1.0 LIFE SAFETY PLAN
A1.0 DEMOLITION PLAN
A1.1 ARCHITECTURAL FLOOR PLAN
A2.0 REFLECTED CEILING PLAN
A3.0 INTERIOR ELEVATION AND MILLWORK DETAILS
A4.0 STANDARD DETAILS
A5.0 FINISH PLAN, LEGEND AND SCHEDULE
PP POWER PLAN

TITLE SHEET

FIRST BANK & TRUST
INTERIOR RENOVATIONS
SUITE 1700
909 POYDRAS STREET
NEW ORLEANS, LA

ISSUED SET 03-20-15
TENANT REVIEW 03-13-15
TENANT REVIEW POWER 03-03-15

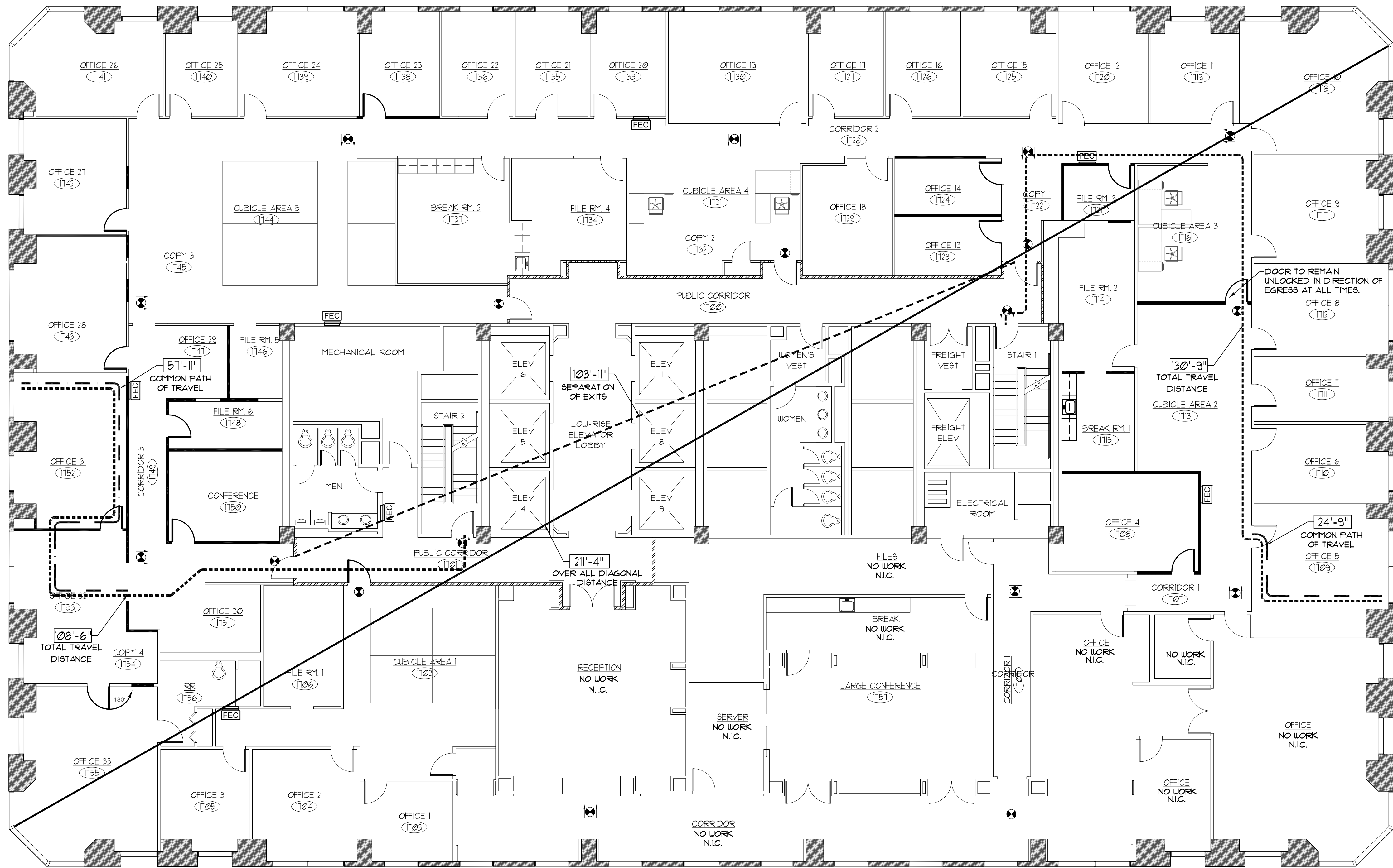
PROJECT NO. 5424
DRAWING SKP
CHECKED BY BE A

T1.0

SHEET 1 OF 9

These plans and specifications have been prepared by and for the use of the personal knowledge and skill of the individual named below. I am not responsible for the work of others.

Architect: Brian Anderson
License No.: 6714



LIFE SAFETY PLAN
SCALE: 1/8"=1'-0"

CODE COMPLIANCE LIFE SAFETY LEGEND

* NOTE: ALL CODE COMPLIANCE IS BASED ON THE 11TH FLOOR OF A FULLY SPRINKLERED BUILDING.
OCCUPANCY GROUP B - COMMERCIAL/OFFICE

TENANT SUITE 1100 - TOTAL OCCUPANT LOAD
TOTAL SQ. FT. = 16,565
2012 NFPA 1.3.1.2
BUSINESS:
14,604 SQ. FT. / 100 SQ. FT. PER PERSON = 141 PEOPLE
LARGE CONFERENCE:
516 SQ. FT. / 15 SQ. FT. PER PERSON = 35 PEOPLE
CONFERENCE:
183 SQ. FT. / 15 SQ. FT. PER PERSON = 13 PEOPLE
STORAGE:
1,266 SQ. FT. / 500 SQ. FT. PER PERSON = 3 PEOPLE
138 PEOPLE

NUMBER OF MEANS OF EGRESS
2012 NFPA 7.4.1.2
THE NUMBER OF MEANS OF EGRESS SHALL BE NO LESS THAN 2.

CAPACITY OF MEANS OF EGRESS
2012 NFPA 302.3.2
THE WIDTH OF CORRIDORS SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD SERVED BUT SHALL NOT BE LESS THAN 44 INCHES

TENANT SUITE 1100
2012 NFPA 1.3.3.1
138 PEOPLE x 0.2 = 39.6"
39.6" < 44", MIN. WIDTH OF CORRIDORS = 44"

OVER ALL DIAGONAL

DEAD END LIMIT
IBC 2012 101.13
NO DEAD END CORRIDOR SHALL BE MORE THAN 50 FT. IN LENGTH

SEPARATION OF EXITS
2012 NFPA 302.5.2
EXITS MUST BE SEPARATED A MINIMUM OF 1/3 OF THE LONGEST DIAGONAL.

TENANT SUITE 1100
OVERALL DIAGONAL DISTANCE = 211'-4"
SEPARATION OF EXITS = 103'-11"
211'-4" / 3 = 70'-6"
(COMPLIANT)

EXITS SIGNAGE
2012 NFPA 1.10.12
WHERE A MAIN ENTRANCE SERVES ALSO AS AN EXIT, IT WILL USUALLY BE SUFFICIENTLY OBVIOUS TO OCCUPANTS SO THAT NO EXIT SIGN IS NEEDED 2012 NFPA 1.10.11 - MEANS OF EGRESS SHALL BE MARKED IN ACCORDANCE WITH SECTION 7.10 WHERE REQUIRED

REQUIRED FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH
2012 NFPA 28.3.4
THE REQUIRED FIRE ALARM SYSTEM SHALL BE INITIATED BY ALL OF FOLLOWING LISTED IN 2012 NFPA 28.3.4.2 INITIATION

FEC
FIRE EXTINGUISHER
CABINET

TOTAL TRAVEL DISTANCE
NFPA 2012, 302.6.1
REQUIRES TOTAL TRAVEL DISTANCE TO BE NO MORE THAN 300'-0"

COMMON PATH LIMIT
NFPA 2012, TABLE A.1.6
REQUIRES COMMON PATH OF TRAVEL TO BE NO GREATER THAN 100'

FIRE PROTECTION
2012 NFPA 9.1.4.1
ON PORTABLE FIRE EXTINGUISHERS

REQUIRED EXIT SIGN

LIFE SAFETY NOTES

MODIFICATIONS TO LIFE SAFETY SYSTEMS SHALL BE PERFORMED IN ACCORDANCE TO THE FOLLOWING CODES AND REGULATIONS AS REQUIRED DUE TO CONSTRUCTION:

1. EMERGENCY LIGHTING MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE TO IBC 2012.
2. HVAC SYSTEM MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 101:9.2 2012.
3. SPRINKLER MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 13 2013.
4. FIRE ALARM AND DETECTION SYSTEM MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 72 2010, ADA-AG, AND IBC 2012.
5. SMOKE ALARM MODIFICATIONS SHALL BE PERFORMED IN ACCORDANCE TO NFPA 72 2010 NATIONAL FIRE ALARM CODE.

LIFE SAFETY PLAN

FIRST BANK & TRUST
INTERIOR RENOVATIONS
SUITE 1700
909 POYDRAS STREET
NEW ORLEANS, LA

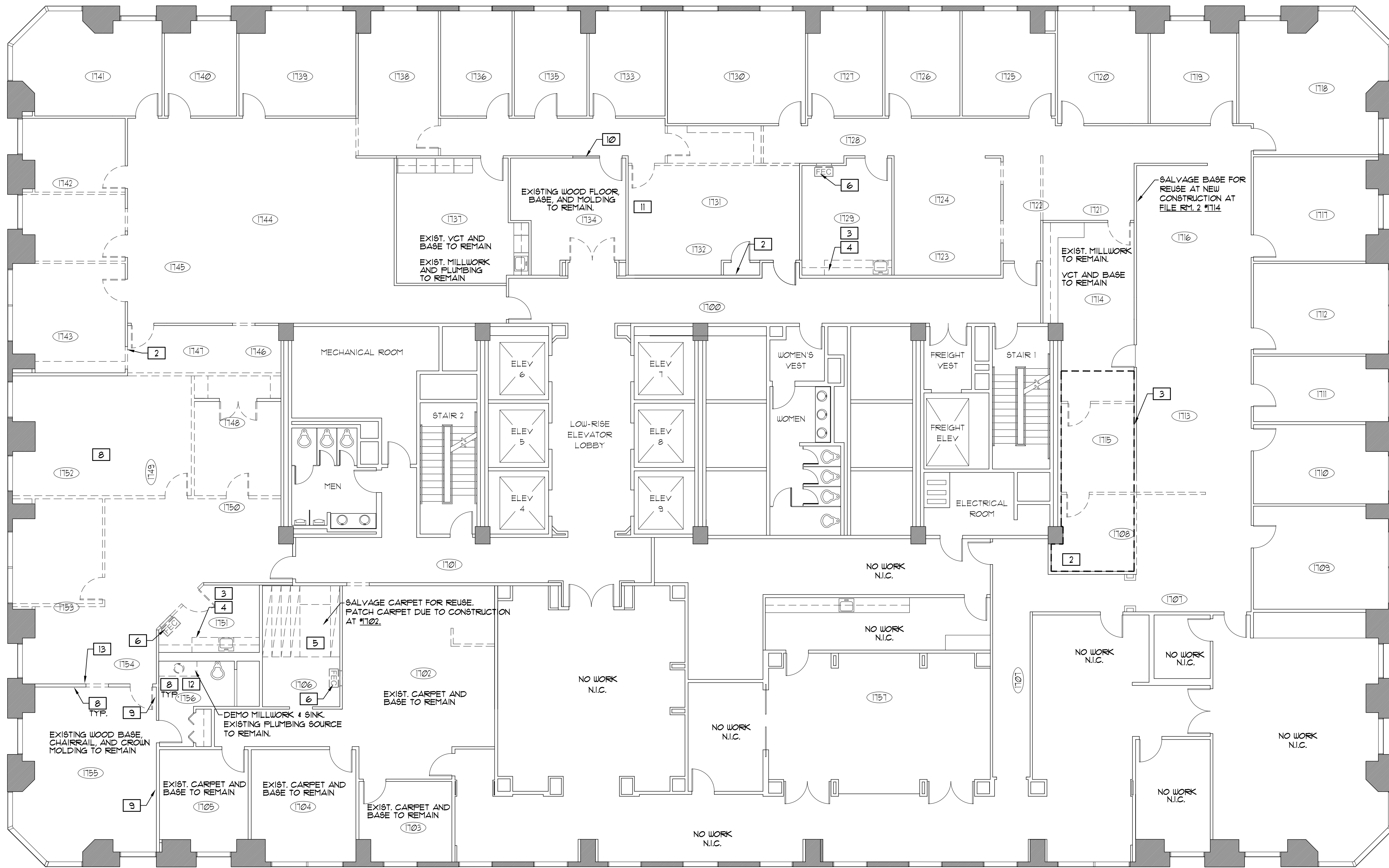
ISSUED SET 03-20-15
TENANT REVIEW 03-13-15
POWER REVIEW 03-03-15

PROJECT NO. 5424
OWNER SKP
CHECKED BY BEA

LS1.0
SHEET 2 OF 9



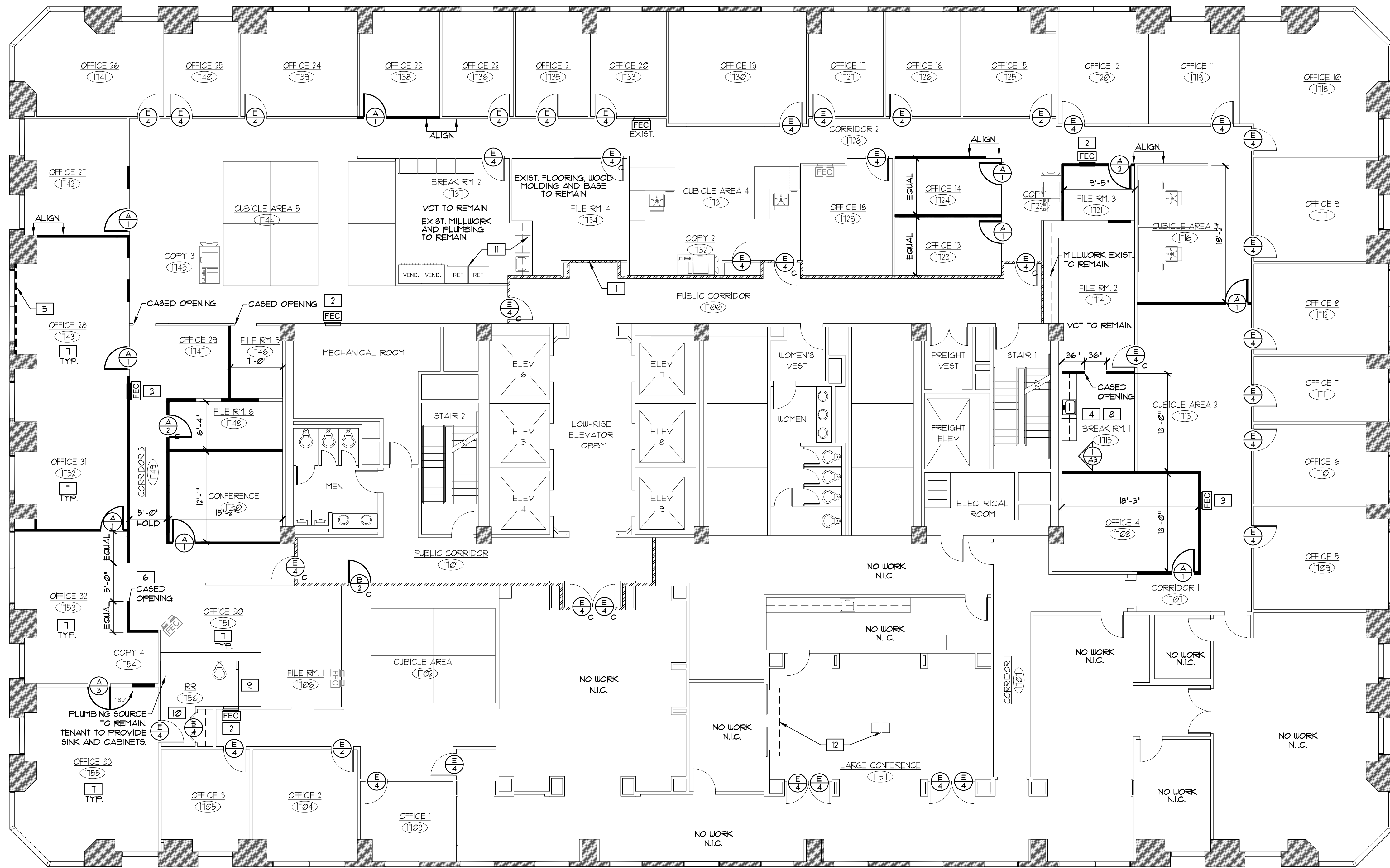
AGL
COMMERCIAL INTERIORS
439 METairie ROAD
METairie, LA 70005
504.883.9077



1
A1.0
DEMOLITION PLAN
SCALE: 1/8"=1'-0"

GENERAL NOTES		PROJECT DEMOLITION KEY NOTES	PROJECT DEMOLITION NOTES	DEMOLITION LEGEND	
<div><div>1. G.C. SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.</div><div>2. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND CONSTRUCTION MATERIAL SHALL BE REMOVED IN ACCORDANCE WITH BUILDING MANAGEMENT RULES AND REGULATIONS.</div><div>3. STORE BLDG. STD. ITEMS (DOORS, FRAMES, HARDWARE, CEILING TILE, LIGHT FIXTURES, ETC.) THAT ARE TO BE REMOVED FOR REUSE IN NEW CONSTRUCTION. ANY ITEMS NOT USED ARE TO BE RETURNED TO BLDG. MGR. OR DISPOSED OF AS DIRECTED BY BLDG. MGR.</div><div>4. IN PARTITIONS TO BE REMOVED, REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE.</div><div>5. CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING ALL DAMAGED CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION ON THE EXTERIOR OR IN TENANT SPACES. REFINISH TO MATCH EXISTING ADJ. FINISH, OR AS NOTED HEREIN.</div><div>6. NO EXIST. LIFE SAFETY ITEMS SHALL BE DAMAGED DURING DEMOLITION OR CONSTRUCTION INCLUDING THE ASSOCIATED WIRING. RELOCATION OF LIFE SAFETY ITEMS SHALL BE A FIRST PRIORITY. NO ACTIVE SMOKE DETECTORS SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.</div></div>		<div><div>1. REMOVE AND CAP SOURCE OF ALL PIPES, VENTS, APPLIANCES, OR DRAINS NOT BEING REUSED.</div><div>2. REUSE OR RELOCATE ALL ABOVE-CEILING DUCTWORK, DIFFUSERS, GRILLES, SPRINKLER PIPES, OR OTHER EQUIPMENT, AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT.</div><div>3. REUSE OR RELOCATE ALL BLDG. STD. INTERIOR DOORS AND DOOR FRAMES TO ACCOMMODATE NEW LAYOUT. RETURN ANY UNUSED DOORS AND FRAMES TO BUILDING MANAGEMENT.</div></div>	<div><div>1. REMOVE AND SALVAGE EXISTING CARPET. REUSE CARPET TO PATCH FLOOR AS REQUIRED DUE TO CONSTRUCTION.</div><div>2. REMOVE PHONE BOARD AND ALL ASSOCIATED WIRING. PATCH WITH GYP BOARD AND PREP WALL FOR NEW PAINT.</div><div>3. REMOVE EXISTING VCT. PREP FLOORS FOR NEW FINISH.</div><div>4. DEMO MILLWORK AND PLUMBING. REMOVE PLUMBING TO SOURCE.</div><div>5. REMOVE HIGH-DENSITY FILE UNITS, CARPET, AND BASE.</div><div>6. REMOVE EXISTING FIRE EXTINGUISHER CABINET(S). REUSE AT LOCATION(S) SHOWN ON SHEET A1.1.</div><div>7. REMOVE ALL WOODEN MOLDING UNLESS OTHERWISE NOTED.</div><div>8. REMOVE EXISTING WALLCOVERING. PREP WALLS FOR NEW PAINT.</div><div>9. REMOVE EXISTING WALLCOVERING. PREP WALLS FOR NEW WALLCOVERING.</div><div>10. REMOVE EXISTING LOGO FROM GLAZING.</div><div>11. REMOVE BLOCKING AND DEVICES FROM WALL. PATCH WITH GYP BOARD AND PREP FOR PAINT.</div><div>12. REMOVE ALL CERAMIC TILE. PREP BASE AND FLOORS FOR NEW CERAMIC TILE.</div><div>13. REMOVE DOORBELL DEVICE AND ALL ASSOCIATED WIRING.</div><div>14. REMOVE P. LAMINATE COUNTERTOP AND BASE CABINETS TO REMAIN. SALVAGE SINK FOR REUSE.</div></div>	<div><div>1. REMOVE ALL EXISTING FLOORING AND BASE UNLESS OTHERWISE NOTED.</div><div>2. REMOVE EXISTING FABRIC DRAPERY. DRAPERY TRACK TO REMAIN.</div><div>3. REMOVE ALL EXISTING WOOD BASE, CROWN MOLDING, AND WOOD CHAIRRAIL UNLESS OTHERWISE NOTED.</div></div>	<div><div>NOTE: LEGEND IS TYPICAL, SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.</div><div><div><div><div><div></div><div>FEQ</div><div>ES</div></div><div>DEMO FIRE EXTINGUISHER CABINET</div></div><div><div></div><div>EXISTING PARTITION TO REMAIN</div></div></div><div><div><div></div><div>DEMOLITION</div></div><div><div><div></div><div>REVISION NUMBER</div></div></div></div></div></div>





1
A11
ARCHITECTURAL PLAN
SCALE: 1/8"=1'-0"
PLAN NORTH

GENERAL NOTES

- CONTRACTOR MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS.
- DO NOT SCALE DRAWINGS. ALWAYS USE THE WRITTEN DIMENSION. CONTRACTOR MUST FIELD VERIFY ALL CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL DIMENSIONS FROM FACE OF GYP. BOARD TO FACE OF GYP. BOARD.
- ALL GYP. BD. PARTITIONS SHALL BE TAPED, BEDDED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES AS REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- CEILING HEIGHT PARTITIONS SHALL BE INSTALLED TIGHT TO FINISHED CEILING, WITH NO JOINTS VARYING MORE THAN 1/8" OVER 6'-0" AND NO JOINTS GREATER THAN 3/16" UNO.
- ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY SLABS OR ABOVE 4'-0" H.
- ALL DOORS SHALL HAVE 1'-6" CLR. MIN. ON STRIKE/PULL SIDE OF DOOR AND 1'-0" ON PUSH SIDE.
- SPRINKLERS TO BE RELOCATED AND REWORKED PER NFPA 13 AS REQUIRED TO ACCOMMODATE PARTITION RELOCATION.
- ALL FURNITURE AND FURNITURE MOVING TO BE BY THE TENANT.
- ALL EXISTING LIFE SAFETY DEVICES, STROBES, FIRE PROTECTION, FIRE EXTINGUISHERS, EXIT IDENTIFICATION, EXIT DEVICES, SECURITY CONTROLS, AND RELATED SYSTEMS, MATERIALS, AND DEVICES TO BE REWORKED TO COMPLY WITH APPLICABLE LIFE SAFETY CODES.
- CONTRACTOR TO COORDINATE THE REMOVAL AND RELOCATION OF EXISTING AND NEW CARD READER LOCATIONS AS REQUIRED.
- CONTRACTOR TO VERIFY THE INTEGRITY OF ALL EXISTING DEMISING PARTITIONS THAT SHALL REMAIN IN PLACE. REPAIRS OR UPGRADES TO ENSURE SOUND PROOFING SHALL BE MADE AS REQUIRED.
- ALL APPLIANCES BY TENANT
- ALL EXISTING WOOD MOLDINGS AND DOORS SHALL BE TOUCHED UP TO CONCEAL MINOR SCRATCHES AND BLEMISHES.
- PROVIDE NEW BLDG. STD. CARPET AND RUBBER BASE AND PAINT ALL AREAS UNLESS OTHERWISE NOTED.
- PATCH, TAPE AND SAND WITH NO VISIBLE JOINTS ALL GYPSUM BOARD WHERE EXISTING POWER AND/OR DATA WAS REMOVED.
- PATCH, TAPE AND SAND WITH NO VISIBLE JOINTS ANY DAMAGED GYPSUM BOARD AS NECESSARY.
- PATCH, REPAIR AND FIRE CAULK ANY AREAS THAT ARE NECESSARY TO MAINTAIN THE FIRE RATING OF ANY FIRE RATED PARTITIONS/SLABS WHERE NEW CONSTRUCTION OCCURS.

PROJECT ARCHITECTURAL KEY NOTES

- PROVIDE AND INSTALL NEW BLDG. STD. DEMISING PARTITION 1P-21.
- INSTALL SALVAGED FIRE EXTINGUISHER CABINET(S) AT LOCATIONS SHOWN.
- INSTALL NEW FIRE EXTINGUISHER CABINET(S) AT LOCATIONS SHOWN.
- PROVIDE AND INSTALL NEW MILLWORK AND PLUMBING AT BREAK RM. 1 #119. REFER TO SHEET A3.0 FOR INTERIOR ELEVATIONS, APPLIANCES BY TENANT.
- PROVIDE AND INSTALL BLOCKING AS REQUIRED AT CEILING FOR CEILING-MOUNTED DRAPERY TRACK PROVIDED BY GC.
- PROVIDE AND INSTALL 60"W CASSED OPENING AT OFFICE 32 #153.
- DEMO UNUSED DEVICES AND BLANK COVER PLATES FROM WALLS, PATCH WITH GYP. BOARD, PREP FOR NEW PAINT.
- PROVIDE AND INSTALL (2) NEW WATERLINES FOR REFRIGERATOR AND COFFEE MAKER AT BREAK 1 #119.
- REFURBISH FIBERGLASS SHOWER STALL TO "LIKE NEW" APPEARANCE AT SR #136.
- REPAIR EXISTING EXHAUST FAN TO WORKING ORDER AT SR #136.
- PROVIDE AND INSTALL (2) NEW WATERLINES FOR REFRIGERATORS AND COFFEE MAKER AT BREAK 2 #121.
- PROVIDE BLOCKING AT CEILING IN LARGE CONFERENCE #151 FOR CEILING-MOUNTED PROJECTOR AND MOTORIZED PROJECTION SCREEN. COORDINATE EXACT LOCATION WITH TENANT.

PROJECT ARCHITECTURAL NOTES

- ALL PARTITION TYPES ARE P-1 UNLESS NOTED OTHERWISE.
- GC TO REWORK HVAC, SPRINKLERS, FIRE ALARM EQUIPMENT, ETC. AS REQUIRED DUE TO CONSTRUCTION.

ARCHITECTURAL LEGEND

NOTE: LEGEND IS TYPICAL, SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.

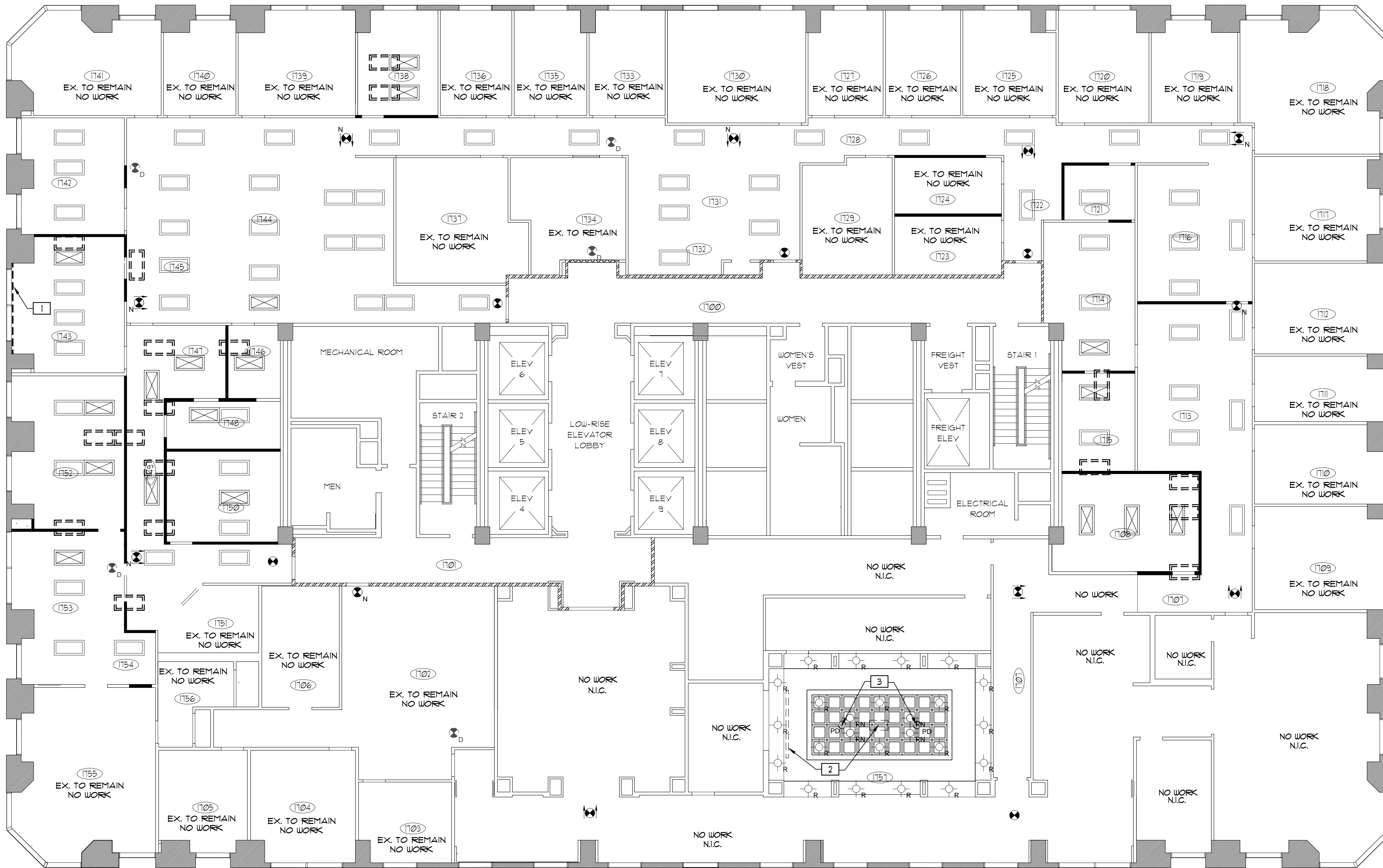
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	TENANT ROOM NUMBER		NEW BUILDING STANDARD PARTITION
	DOOR TYPE		EXISTING BLDG. STD. DEMISING PARTITION
	HARDWARE TYPE		NEW BLDG. STD. DEMISING PARTITION
	DOOR CLOSER (IF USED)		DEMOLITION
	FIRE EXTINGUISHER CABINET		REVISION NUMBER
	ELEVATION NO.		ENLARGED FLOOR PLAN
	SHEET NO.		
	ELEVATION NOS.		
	SHEET NO.		

ARCHITECTURAL FLOOR PLAN
FIRST BANK & TRUST
INTERIOR RENOVATIONS
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CHECKED BY BEA

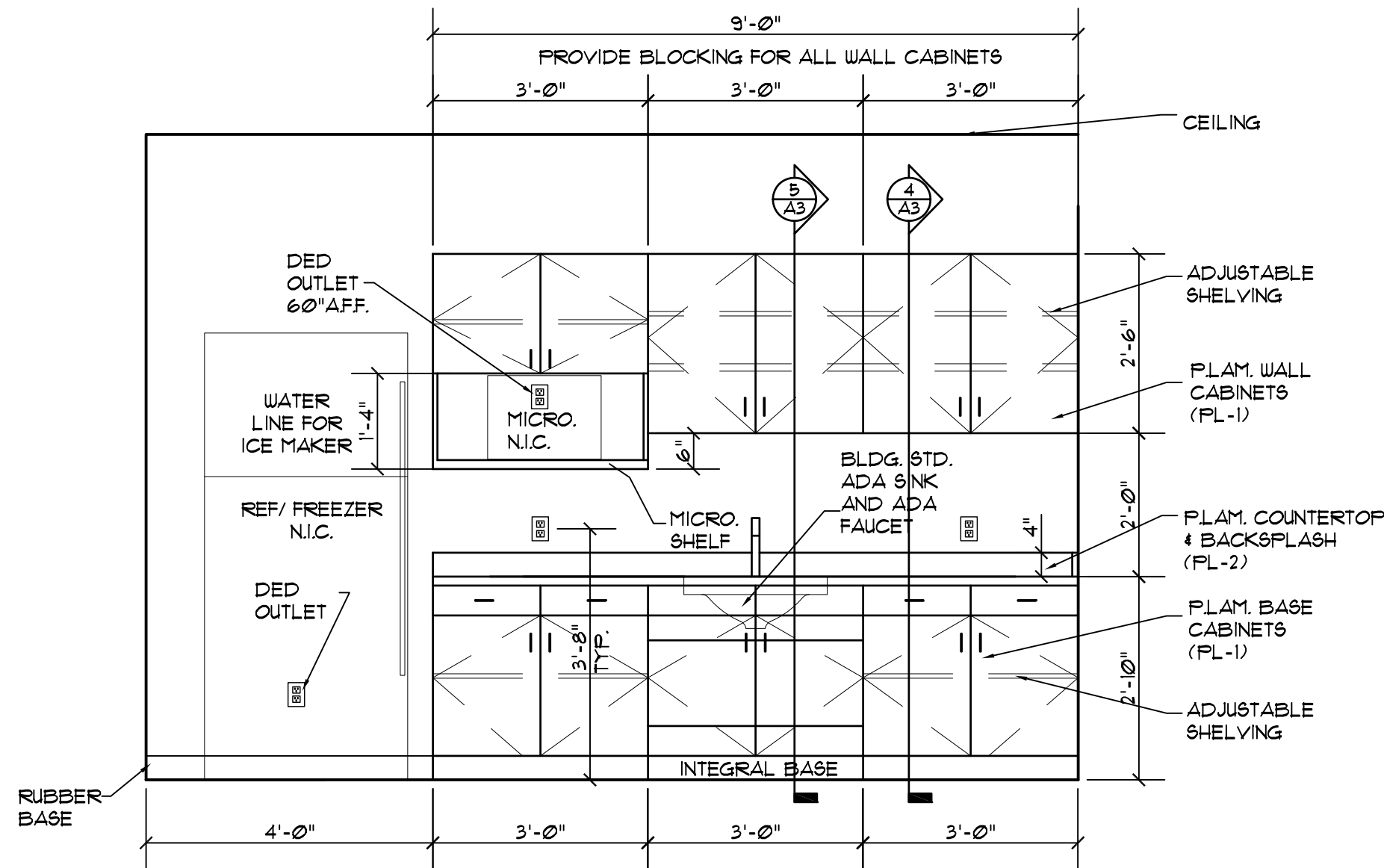
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SHEET 4 OF 9



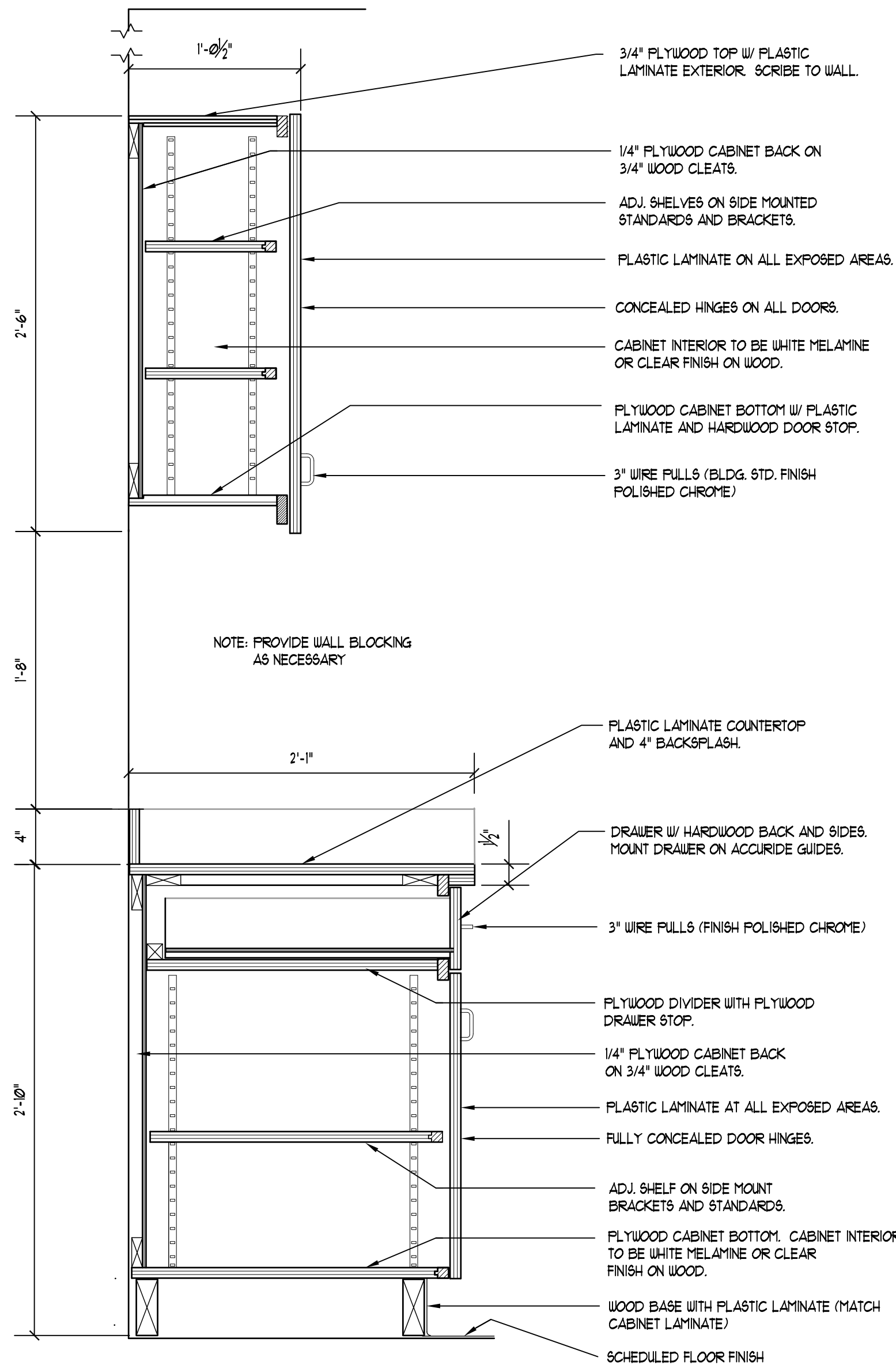
1
A2.0
REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"
PLAN NORTH

GENERAL REFLECTED CEILING NOTES		PROJECT REFLECTED CEILING KEY NOTES	PROJECT REFLECTED CEILING NOTES	LIGHTING LEGEND						
1. GENERAL CONTRACTOR SHALL COORDINATE CEILING WORK WITH ALL TRADES. ABOVE CEILING WORK SHALL BE KEPT TO A MINIMUM AND THE WORK STAGED SO THAT EXCESSIVE REOPENING OF THE CEILING WILL NOT OCCUR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CEILING WORK AND TILE REPLACEMENT INCLUDING THE WORK PERFORMED BY OUTSIDE CONTRACTORS SUCH AS COMPUTER AND COMMUNICATIONS COMPANIES.	5. GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL CEILING TILES AND GRID REMOVED OR DAMAGED TO FACILITATE PLENUM SYSTEMS.	<div>1</div> PROVIDE AND INSTALL BLOCKING AS REQUIRED AT CEILING FOR CEILING-MOUNTED DRAPEY TRACK TRACK PROVIDED BY GC.	1. EXISTING CONCEALED GRID AND 12"x12" TILES TO REMAIN. REPAIR AND REPLACE CEILING AS REQUIRED.	<div><div></div></div>	DEMO 2X4 FLUORESCENT LIGHT	<div><div>D</div></div>	DEMO EXIT SIGN	<div><div>PN</div></div>	NEW PENDANT LIGHT	
2. GENERAL CONTRACTOR SHALL REFER TO THE REFLECTED CEILING PLAN FOR LOCATION OF LIGHT FIXTURES ONLY. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING ALL TRADES (ARCHITECTURAL, ELECTRICAL AND MECHANICAL) BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PLACING MATERIAL ORDERS.	6. GENERAL CONTRACTOR SHALL REPAIR OR REPLACE ANY STAINED OR DAMAGED CEILING TILES FOR A "LIKE NEW" APPEARANCE. GENERAL CONTRACTOR TO COORDINATE THE PLACEMENT OF CEILING TILES FOR A UNIFORM APPEARANCE ON A ROOM TO ROOM BASIS. DO NOT MIX OLD AND NEW CEILING TILES.		<div>2</div> PROVIDE BLOCKING AT CEILING AT LARGE CONFERENCE #121 FOR CEILING-MOUNTED PROJECTOR AND MOTORIZED PROJECTION SCREEN. COORDINATE EXACT LOCATION WITH TENANT.	2. GC TO REWORK LIGHTING AS SHOWN.	<div><div></div></div>	EXISTING 2X4 FLUORESCENT LIGHT	<div><div>D</div></div>	EXISTING EXIT SIGN	<div><div>ED</div></div>	DEMO RECESSED EYEBALL LIGHT
3. LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS AND OTHER CEILING ELEMENTS SHALL BE LOCATED IN THE CENTER OF THE INDIVIDUAL TILE OR 2X2 SPACE UNO.	1. EXISTING LIGHT FIXTURES ARE TO BE REUSED. RE-LAMP FIXTURES AS REQUIRED TO BUILDING STANDARD BULBS. COORDINATE FIXTURE DEFICIT/ SURPLUS AND RETROFIT WITH BUILDING ENGINEER.		<div>3</div> REMOVE (2) EXISTING CHANDELIER FIXTURES. RETURN TO TENANT.	3. GC TO REWORK HVAC, SPRINKLERS, FIRE ALARM EQUIPMENT, ETC. AS REQUIRED DUE TO CONSTRUCTION.	<div><div>X</div></div>	NEW OR RELOCATED 2X4 FLUORESCENT LIGHT	<div><div>N</div></div>	NEW EXIT SIGN	<div><div>E</div></div>	EXISTING RECESSED EYEBALL LIGHT
4. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS PRIOR TO FRAMING.	8. EMERGENCY LIGHTING SHALL BE PROVIDED FOR MEANS OF EGRESS ACCORDING TO IBC 2012.		<div>4</div> PROVIDE AND INSTALL (4) NEW RECESSED DOWNLIGHTS AT LARGE CONFERENCE #121. MATCH EXISTING RECESSED FIXTURES.	4. AT LOCATIONS WHERE SEPARATE SUITES ARE JOINING, REPAIR CEILING AS REQUIRED DUE TO CONSTRUCTION. GC TO INSTALL 3" FLUSH GYP. SOFFIT TRANSITION AS NEEDED.	<div><div>F</div></div>	DEMO 2X2 FLUORESCENT LIGHT	<div><div>N</div></div>	NEW DIRECTIONAL EXIT SIGN	<div><div>EN</div></div>	NEW RECESSED EYEBALL LIGHT
			5. RELOCATE EXISTING SPRINKLER HEADS IN ACCORDANCE WITH APPLICABLE CODES AS REQUIRED TO COORDINATE WITH ENW CONSTRUCTION.	<div><div></div></div>	EXISTING 2X2 FLUORESCENT LIGHT	<div><div>RD</div></div>	DEMO RECESSED LIGHT	<div><div>T</div></div>	DEMO WALL MOUNTED LIGHT	
			6. EXISTING LIGHT FIXTURES ARE TO BE REUSED. RE-LAMP FIXTURES AS REQUIRED TO BUILDING STANDARD BULBS. COORDINATE FIXTURE DEFICIT/ SURPLUS AND RETROFIT WITH BUILDING ENGINEER.	<div><div>X</div></div>	NEW OR RELOCATED 2X2 FLUORESCENT LIGHT	<div><div>R</div></div>	EXISTING RECESSED LIGHT	<div><div></div></div>	EXISTING WALL MOUNTED LIGHT	
				<div><div>X</div></div>	EXISTING SUPPLY AIR GRILLE	<div><div>RN</div></div>	NEW RECESSED LIGHT	<div><div>N</div></div>	NEW WALL MOUNTED LIGHT	
				<div><div>X</div></div>	EXISTING RETURN AIR GRILLE	<div><div>WP</div></div>	NEW WATERPROOF LIGHT	<div><div>S</div></div>	DEMO SPEAKER	
						<div><div>PD</div></div>	DEMO PENDANT LIGHT	<div><div>S</div></div>	EXISTING SPEAKER	
						<div><div>P</div></div>	EXISTING PENDANT LIGHT		NOTE: LEGEND IS TYPICAL. SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.	

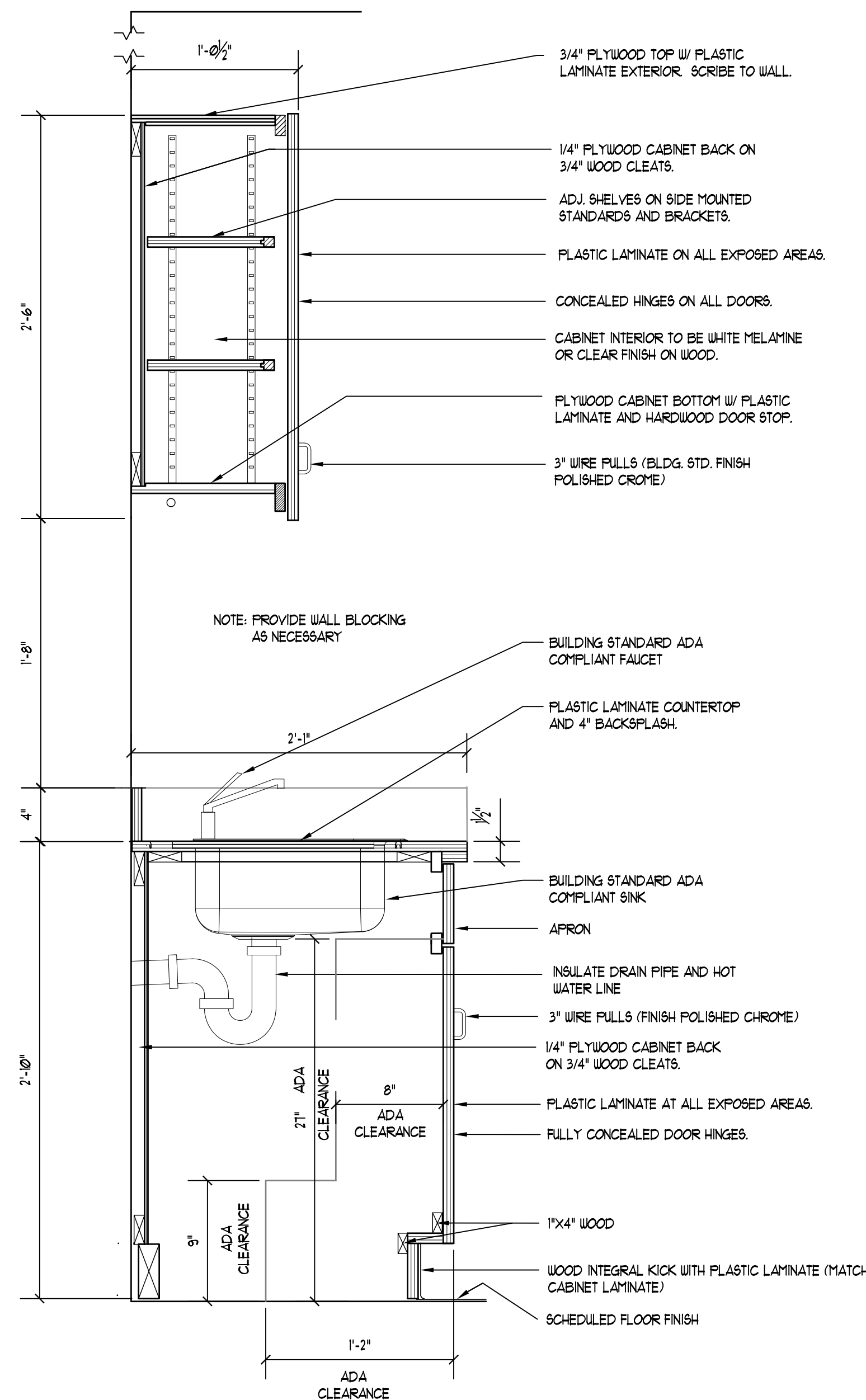




1 ELEVATION: BREAK RM. 1 #1715
A3.0 SCALE: 1/2" = 1'-0"



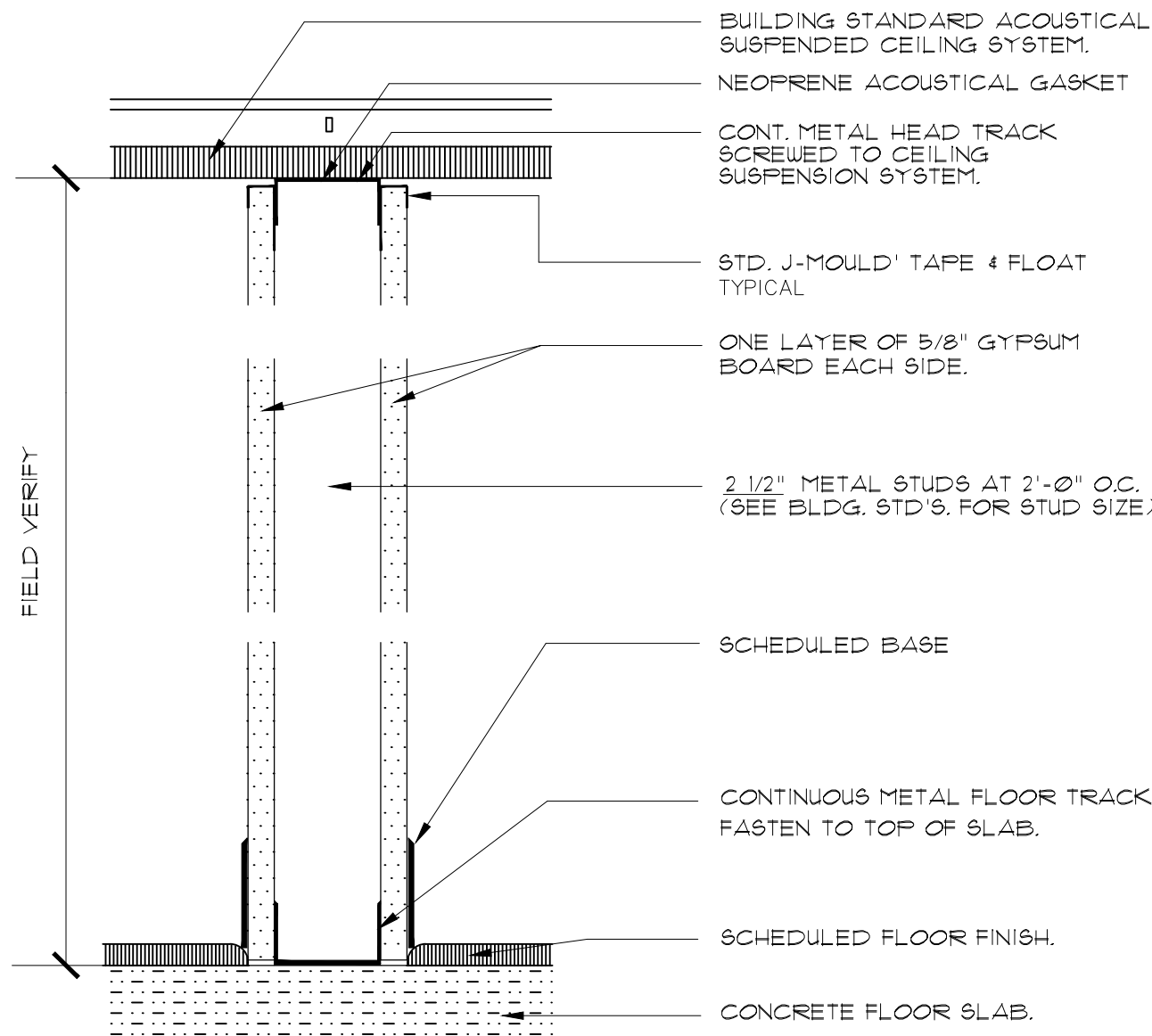
4 MILLWORK DETAILS
A3.0 SCALE: 1-1/2" = 1'-0"



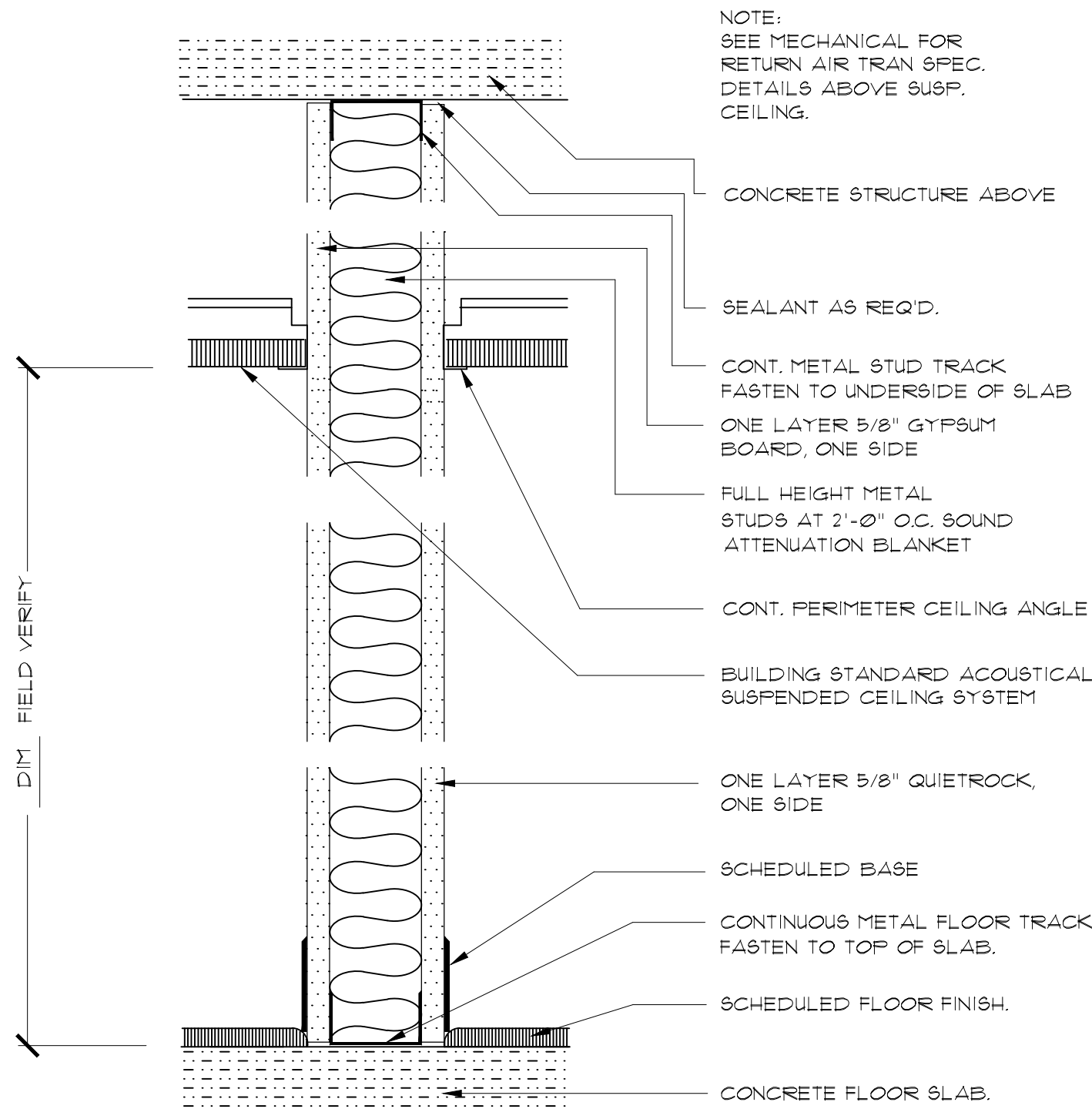
5 MILLWORK DETAILS
A3.0 SCALE: 1-1/2" = 1'-0"



STANDARD PARTITIONS



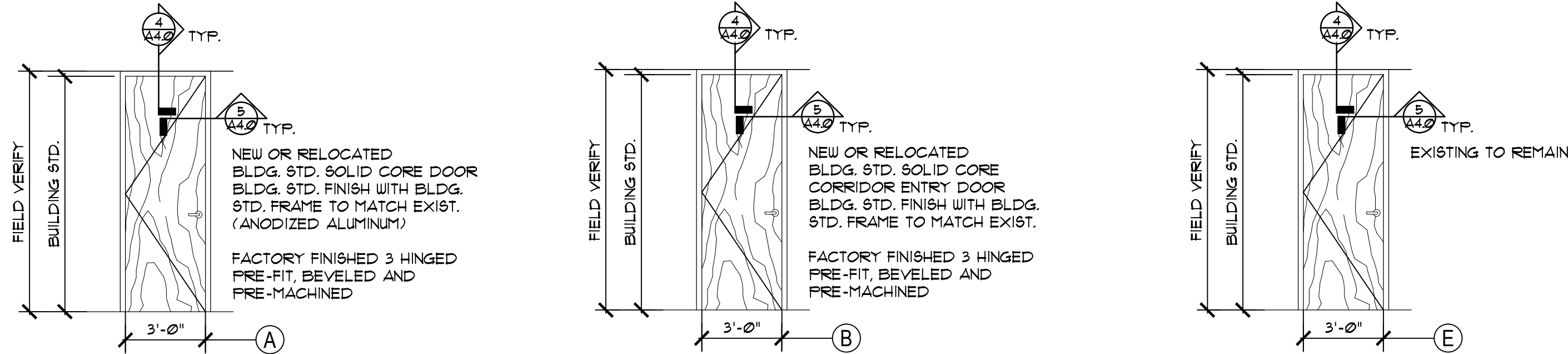
1 BUILDING STANDARD PARTITION
A4.0 SCALE: 3"=1'-0"



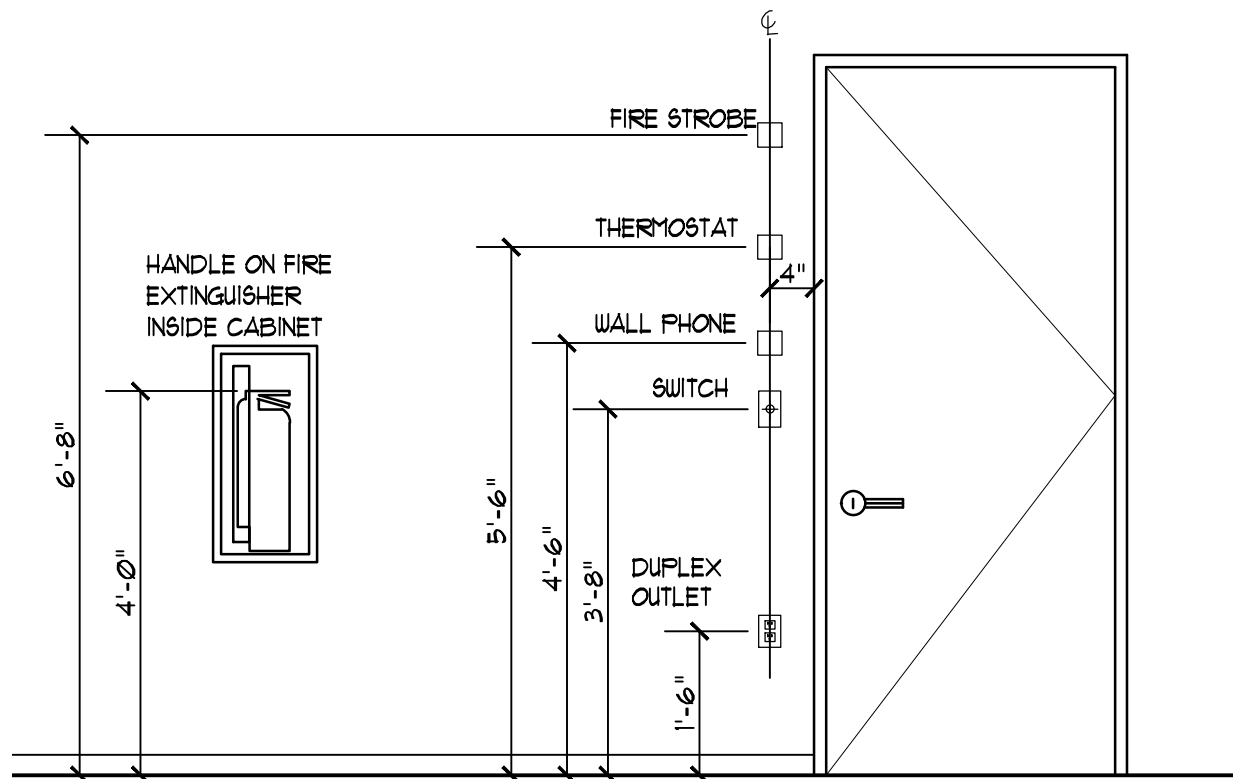
NOTE: THIS IS NOT A FIRE RATED PARTITION. OPENINGS ABOVE THE CEILING SHALL BE ALLOWED AS NEEDED FOR AIRFLOW IN THE PLENUM SPACE.

2 BLDG. STD. FULL HEIGHT DEMISING PARTITION
A4.0 SCALE: 3"=1'-0"

STANDARD DOOR TYPES

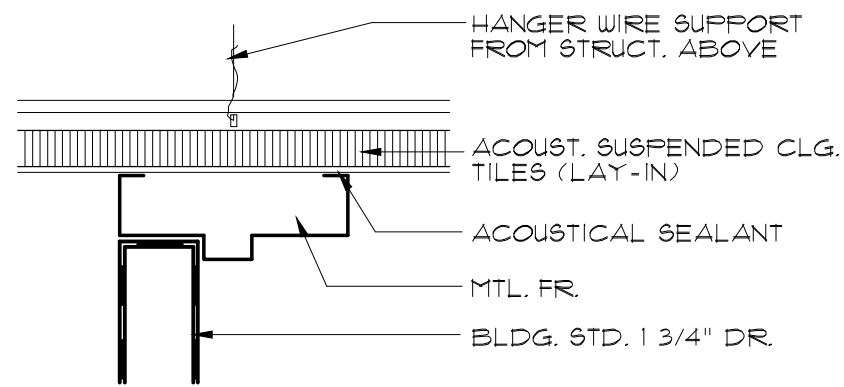


TYPICAL MOUNTING HEIGHTS

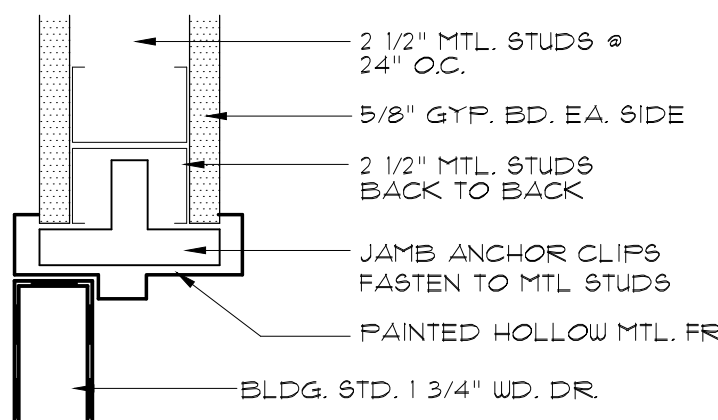


3 TYPICAL MOUNTING HEIGHTS
A4.0 SCALE: 1/2"=1'-0"

DETAILS STANDARD DOOR TYPES

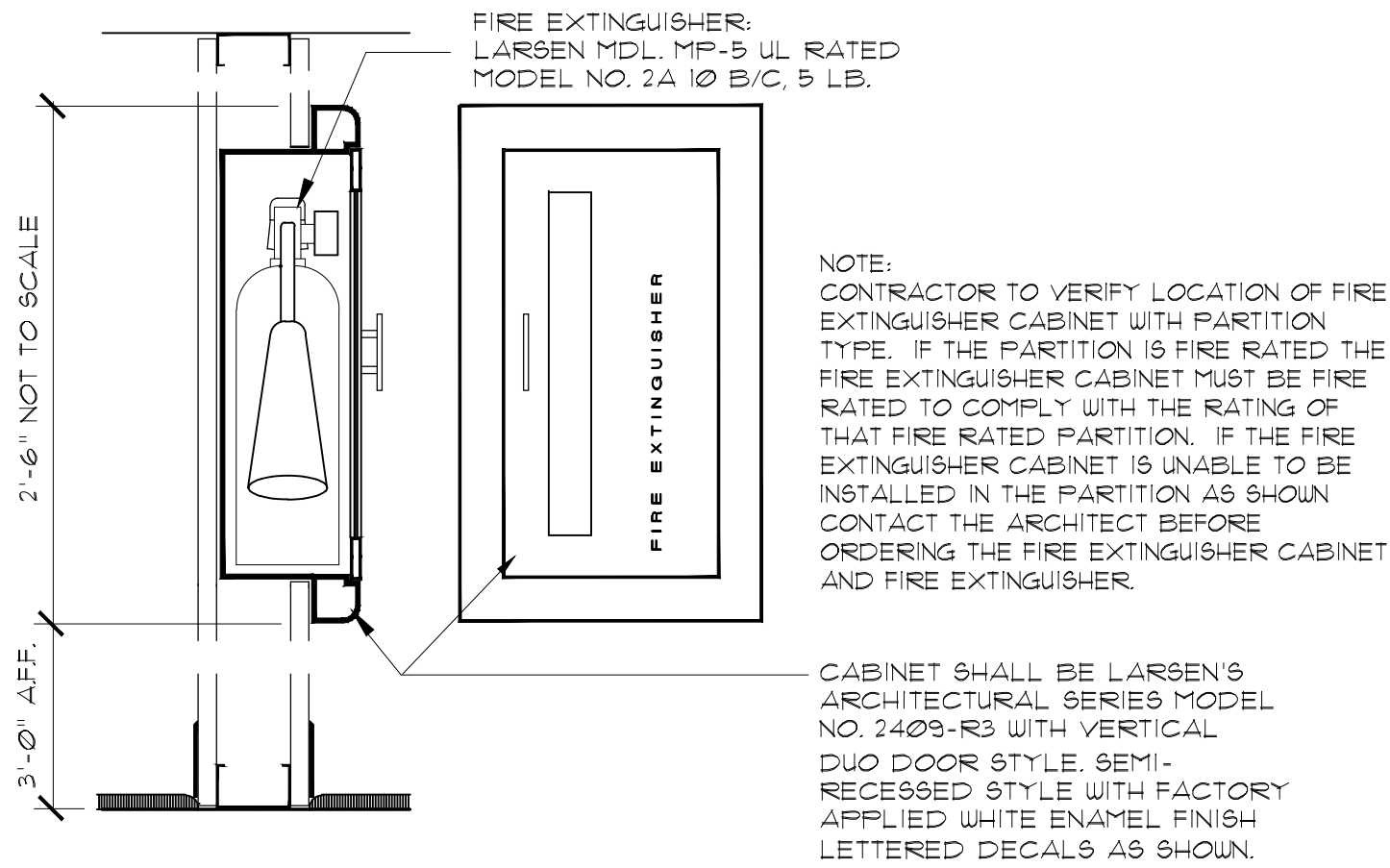


4 HEAD DETAIL
A4.0 SCALE: 3"=1'-0"



5 JAMB DETAIL
A4.0 SCALE: 3"=1'-0"

FIRE EXTINGUISHER



6 TYPICAL FIRE EXTINGUISHER CABINET
A4.0 SCALE: N.T.S.

HARDWARE SCHEDULE

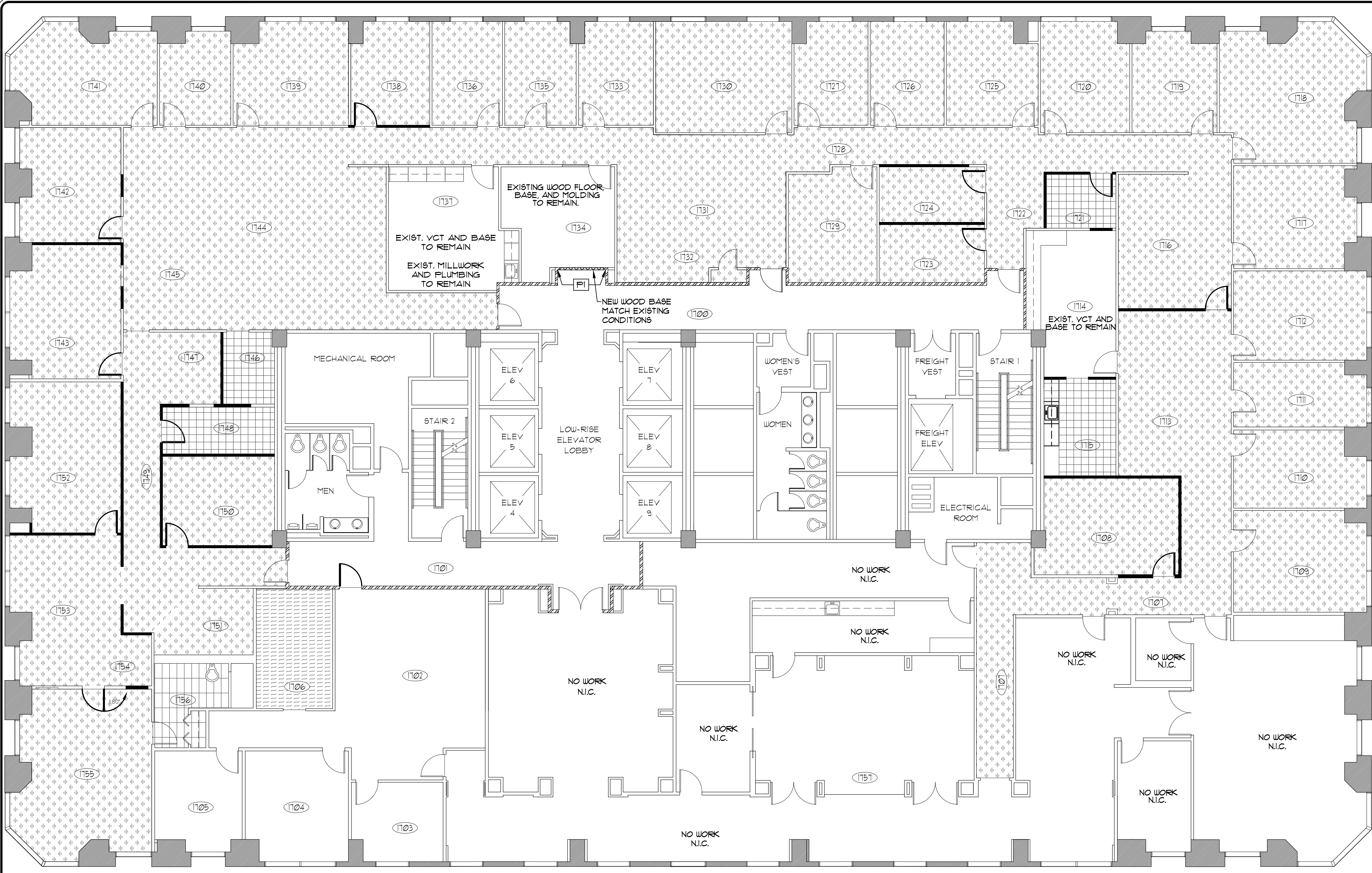
NOTE: "C" INDICATES USE OF BUILDING STANDARD CLOSER.

SET NO. 1 BLDG. STD. PASSAGE SET FLOOR MOUNTED DOOR STOP SILENCERS	SET NO. 2 BLDG. STD. LOCKSET FLOOR MOUNTED DOOR STOP SILENCERS
SET NO. 3 BLDG. STD. LOCKSET 180° HINGE FLOOR MOUNTED DOOR STOP SILENCERS	SET NO. 4 EXISTING TO REMAIN

STANDARD DETAILS
FIRST BANK & TRUST
INTERIOR RENOVATIONS
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909 POYDRAS STREET
NEW ORLEANS, LA

ISSUED SET	03-20-15
TENANT REVIEW	03-13-15
TENANT REVIEW POWER	03-03-15

PROJECT NO.	5424	DRAWN BY SKP	CHECKED BY BEA
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1 FINISH PLAN
A5.0 SCALE: 1/8"=1'-0"

FINISH SCHEDULE

* SEE GENERAL NOTES & SPECS

ROOM NO.	ROOM	FLOOR	BASE	WALLS				REMARKS
				NORTH	SOUTH	EAST	WEST	
1102	PUBLIC CORRIDOR	C-1	B-1	N/A	N/A	N/A	N/A	
1101	PUBLIC CORRIDOR	C-1	B-1	N/A	N/A	N/A	N/A	
1102	CUBICLE AREA 1	C-1	B-1	P-2	P-2	P-2	P-2	
1103	OFFICE 1	C-1	B-1	P-2	P-2	P-2	P-2	
1104	OFFICE 2	C-1	B-1	P-2	P-2	P-2	P-2	
1105	OFFICE 3	C-1	B-1	P-2	P-2	P-2	P-2	
1106	FILE RM 1	C-3	B-3	P-2	P-2	P-2	P-2	
1107	CORRIDOR 1	C-2	B-2	P-2	P-2	P-2	P-2	
1108	OFFICE 4	C-2	B-2	P-2	P-2	P-2	P-2	
1109	OFFICE 5	C-2	B-2	P-2	P-2	P-2	P-2	
1110	OFFICE 6	C-2	B-2	P-2	P-2	P-2	P-2	
1111	OFFICE 7	C-2	B-2	P-2	P-2	P-2	P-2	
1112	OFFICE 8	C-2	B-2	P-2	P-2	P-2	P-2	
1113	CUBICLE AREA 2	C-2	B-2	P-2	P-2	P-2	P-2	
1114	FILE RM 2	C-1	B-1	B-4	P-2	P-2	P-2	B-4 AT NEW CONST.
1115	BREAK RM 1	T-1	B-2	P-2	P-2	P-2	P-2	SEMI-GLOSS PAINT
1116	CUBICLE AREA 3	C-2	B-2	P-2	P-2	P-2	P-2	
1117	OFFICE 9	C-2	B-2	P-2	P-2	P-2	P-2	
1118	OFFICE 10	C-2	B-2	P-2	P-2	P-2	P-2	
1119	OFFICE 11	C-2	B-2	P-2	P-2	P-2	P-2	
1120	OFFICE 12	C-2	B-2	P-2	P-2	P-2	P-2	
1121	FILE RM 3	T-1	B-2	P-2	P-2	P-2	P-2	
1122	COPY 1	C-2	B-2	P-2	P-2	P-2	P-2	
1123	OFFICE 13	C-2	B-2	P-2	P-2	P-2	P-2	
1124	OFFICE 14	C-2	B-2	P-2	P-2	P-2	P-2	
1125	OFFICE 15	C-2	B-2	P-2	P-2	P-2	P-2	
1126	OFFICE 16	C-2	B-2	P-2	P-2	P-2	P-2	
1127	OFFICE 17	C-2	B-2	P-2	P-2	P-2	P-2	
1128	CORRIDOR 2	C-2	B-2	P-2	P-2	P-2	P-2	
1129	OFFICE 18	C-2	B-2	P-2	P-2	P-2	P-2	
1130	OFFICE 19	C-2	B-2	P-2	P-2	P-2	P-2	
1131	CUBICLE AREA 4	C-2	B-2	P-2	P-2	P-2	P-2	
1132	COPY 2	C-2	B-2	P-2	P-2	P-2	P-2	
1133	OFFICE 20	C-2	B-2	P-2	P-2	P-2	P-2	
1134	FILE RM 4	EXISTING	EXISTING	P-2	P-2	P-2	P-2	
1135	OFFICE 21	C-2	B-2	P-2	P-2	P-2	P-2	
1136	OFFICE 22	C-2	B-2	P-2	P-2	P-2	P-2	
1137	BREAK RM 2	EXISTING	EXISTING	P-2	P-2	P-2	P-2	SEMI-GLOSS PAINT
1138	OFFICE 23	C-2	B-2	P-2	P-2	P-2	P-2	
1139	OFFICE 24	C-2	B-2	P-2	P-2	P-2	P-2	
1140	OFFICE 25	C-2	B-2	P-2	P-2	P-2	P-2	
1141	OFFICE 26	C-2	B-2	P-2	P-2	P-2	P-2	
1142	OFFICE 27	C-2	B-2	P-2	P-2	P-2	P-2	
1143	OFFICE 28	C-2	B-2	P-1	P-1	P-1	P-1	
1144	CUBICLE AREA 5	C-2	B-2	P-2	P-2	P-2	P-2	
1145	COPY 3	C-2	B-2	P-2	P-2	P-2	P-2	
1146	FILE RM 5	T-1	B-2	P-2	P-2	P-2	P-2	
1147	OFFICE 29	C-2	B-2	P-1	P-1	P-1	P-1	
1148	FILE RM 6	T-1	B-2	P-1	P-1	P-1	P-1	
1149	CORRIDOR 3	C-2	B-2	P-1	P-1	P-1	P-1	
1150	CONFERENCE	C-2	B-2	P-1	P-1	P-1	P-1	
1151	OFFICE 30	C-2	B-2	P-1	P-1	P-1	P-1	
1152	OFFICE 31	C-2	B-2	P-1	P-1	P-1	P-1	
1153	OFFICE 32	C-2	B-2	P-1	P-1	P-1	P-1	
1154	COPY 4	C-2	B-2	P-1	P-1	P-1	P-1	
1155	OFFICE 33	C-2	B-1	P-1	P-1	WC	P-1	
1156	SR	CT-1	CT-2	P-1	P-1	P-1	P-1	
1157	LARGE CONFERENCE	C-1	B-1	N/A	N/A	N/A	N/A	

GENERAL FINISH NOTES

1. MATCH EXISTING TEXTURE ON ALL PAINTED SURFACES.
2. CONTRACTOR SHALL CLEAN, FILL AND LEVEL FLOOR PRIOR TO INSTALLATION OF ALL FLOOR COVERING.
3. CONTRACTOR SHALL REMOVE ALL SWITCH PLATES AND OUTLET PLATES, ALL SURFACE HARDWARE ETC. PRIOR TO PAINTING. HE SHALL REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPATTERED ON SURFACES.
4. CONTRACTOR TO PATCH AND REPAIR CEILING AND FLOOR WHERE AFFECTED BY DEMOLITION/ CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO: PATCHING SCREW HOLES IN CEILING GRID.
5. UNDERSIDE OF SOFFITS (WHERE OCCURS) TO RECEIVE A FINISH TO MATCH CEILING UNO.
6. CONTRACTOR RESPONSIBLE FOR ALLOWING DELIVERY LEAD TIMES ON ALL FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED AND ANY EXCESSIVE LEAD TIMES BROUGHT TO THE ARCHITECT'S ATTENTION.
7. PAINT IS DEFINED AS ONE PRIMER COAT AND 2 FINISH COATS.
8. APPLY FABRIC WALLCOVERING SO WALL IS DIVIDED WITH A MIN. NUMBER OF SEAMS, AND WITH EQUAL WIDTH PANELS UNO.
9. ALL INTERSECTIONS OF FLOOR FINISH MATERIALS SHALL BE LOCATED DIRECTLY UNDER CENTER OF DOOR, WHERE OCCURS UNO.
10. CONTRACTOR TO SUBMIT SEAMING DIAGRAM TO ARCHITECT FOR LARGE PROJECTS, OR WHERE THE CHANGING OF PATTERN DIRECTION MUST OCCUR DUE TO BLDG. SHAPE.

FLOORING

- C-1 EXISTING TO REMAIN
- C-2 CARPET
SHAW CONTRACT
STYLE NAME/NO: DIVIDE 54065
COLOR NAME/NO: SWEETGRASS 65300
- C-3 CARPET
SHAW CONTRACT
STYLE NAME/NO: EVOLUTION 50913
COLOR NAME/NO: BARE NECESSITIES 13150
- T-1 VCT
MANNINGTON COMMERCIAL
ESSENTIALS
COLOR: ALMOND BUFF 161
SIZE: 12"X12"

- CT-1 CERAMIC TILE
DALTILE
FABRIQUE
COLOR: SOLEIL LINEN P681
(UNPOLISHED)
SIZE: 12"X24"
GRID LAY
- CT-2 CERAMIC TILE
DALTILE
FABRIQUE
COLOR: SOLEIL LINEN P681
(UNPOLISHED)
BULLNOSE 5-43C9
SIZE: 3"X12"

FINISHES

NOTE: ALL FINISH SAMPLES MUST BE APPROVED BEFORE INSTALLATION.

BASE

- B-1 EXISTING TO REMAIN
- B-2 RUBBER BASE
ROPPE
VINYL BASE
COLOR: 100 BROWN
4" STANDARD TOE CONTINUOUS COIL GOODS
- B-3 RUBBER BASE
ROPPE
VINYL BASE
COLOR: 100 BLACK
2 1/2" STANDARD TOE CONTINUOUS COIL
GOODS
- B-4 SALVAGED RUBBER BASE

WALLS

- WC VINYL WALLCOVERING
MPC
STYLE: ADDISON
COLOR: CAPE MDD4801
- P-1 PAINT
SHERWIN WILLIAMS
COLOR: SW6108 LATTE
FINISH: EGGSHELL
- P-2 PAINT
SHERWIN WILLIAMS
COLOR: SW6106 KILIM BEIGE
FINISH: EGGSHELL
NOTE: PROVIDE SEMI-GLOSS PAINT AT
BREAK RM.1 1115 AND BREAK RM.2 1131.

MILLWORK

- PL-1 PLASTIC LAMINATE
WILSONART
4846-60 MORRO ZEPHYR
FINISH: MATTE
- PL-2 PLASTIC LAMINATE
WILSONART
4888-38 GREEN SOAPSTONE
FINISH: FINE VELVET TEXTURE

FINISH PLAN, LEGEND AND SCHEDULE

FIRST BANK & TRUST
INTERIOR RENOVATIONS
SUITE 1700
909 POYDRAS STREET
NEW ORLEANS, LA

ISSUED SET 03-20-15
TENANT REVIEW 03-13-15
TENANT REVIEW POWER 03-03-15

PROJECT NO. 5424
DRAWN BY SKP
CHECKED BY BEA

A5.0
SHEET 8 OF 9



E1	PROVIDE AND INSTALL JUNCTION BOXES FOR POWER AND DATA. GC TO MAKE HARDWARE CONNECTION TO FURNITURE.
E2	INSTALL POWER POLE AT CURBULE AREA 5 #144. POWER POLE PROVIDED BY FURNITURE VENDOR. GC TO RUN POWER TO POLE.
E3	DEMO DATA AND POWER OUTLETS AS SHOWN. DEMO BULK POWER OUTLET#3. PATCH HOLES WITH GYP BOARD. PREP WALLS FOR PAINT.
E4	GC TO VERIFY DEDICATED POWER OUTLET AT FILE ROOM 1 #106. PROVIDE AND INSTALL DEDICATED POWER OUTLET AS REQUIRED.
E5	REPAIR EXHAUST FAN TO WORKING ORDER AT <u>RR #156</u> .
E6	PROVIDE FLOORING AT CEILING IN LARGE CONFERENCE #151 FOR CEILING-MOUNTED PROJECTOR AND PROJECTION SCREEN. COORDINATE EXACT LOCATION WITH TENANT.
E7	PROVIDE AND INSTALL OUTLET/HDMI DATA IN CEILING FOR CEILING-MOUNTED PROJECTOR AT LARGE CONFERENCE #151. COORDINATE EXACT LOCATION WITH TENANT.
E8	PROVIDE AND INSTALL POWER ABOVE CEILING FOR MOTORIZED PROJECTOR SCREEN AT LARGE CONFERENCE #151. COORDINATE EXACT LOCATION WITH TENANT.

1.	SURVEY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. CONTRACTOR RESPONSIBLE FOR REMEDIES TO EXISTING ELECTRICAL CODE VIOLATIONS.	1.	CONTRACTOR RESPONSIBLE FOR THE FINAL ELECTRICAL CONNECTIONS AND CONTINUITY CHECK OF ALL OPEN OFFICE FURNITURE. TENANT WILL PROVIDE FURNITURE WHIPS WHERE REQUIRED. CONTRACTOR WILL INSTALL.
2.	THE WIRING LAYOUT AND INSTALLATIONS SHALL BE IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES.	8.	CONTRACTOR SHALL CONFIRM MANUF. ELECTRICAL REQUIREMENTS, FOR ALL APPLIANCES AND EQUIPMENT SPECIFIED. IF ELECTRICAL REQUIREMENTS CONTAINED IN THE CONTRACT DOCUMENTS ARE IN CONFLICT WITH THE MANUF.'S REQUIREMENTS, CONTACT THE ARCHITECT PRIOR TO INSTALLATION.
3.	OUTLETS SHOW BACK TO BACK ON PARTITIONS SHALL BE OFFSET 1'-0" MAX.	9.	ELECTRICAL PANELS TO BE NUMBERED AND LABELED PRIOR TO SUBSTANTIAL COMPLETION.
4.	FURNITURE, IF SHOWN IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT, UNO.	10.	ALL WORK SHALL BE CONDUCTED WITHIN THE LIMITS OF ALL APPLICABLE BLDG. AND OR CODES THAT GOVERN, HAVING JURISDICTION OVER THIS PROJECT.
5.	ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR CONDUIT OR PLUMBING LINES SHALL BE FULLY PACKED & SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.	11.	CABLING RACKS AND CABINETS PROVIDED BY TENANT'S CABLING CONTRACTOR.
6.	OUTLET AND SWITCH COVERPLATES TO BE PROVIDED IN FINISH AND STYLE TO MATCH EXISTING. INSTALLATION OF COVERPLATES TO BE AFTER ALL PAINTING AND OR WALLCOVERING IS COMPLETED.	12.	EXISTING OUTLETS TO REMAIN UNO.

1. PHONE AND DATA LOCATIONS ARE INDICATED FOR LAYOUT PURPOSES ONLY. ALL ENGINEERING AND CIRCUITRY BY OTHERS, REFER TO ENGINEERING DRAWINGS FOR ACTUAL FIXTURE, POWER, ALARM AND SECURITY PROVISIONS.
2. COORDINATE ALL PHONE AND DATA REQUIREMENTS WITH TENANT AND TENANT'S NETWORKING REPRESENTATIVE
3. COORDINATE MOUNTING OF OUTLETS AT/ABOVE CABINETY WITH INTENT SHOWN IN ELEVATIONS
4. RECEPTACLES INDICATED FOR SERVERS, COPIERS, AND MICROWAVES SHALL BE ON DEDICATED CIRCUITS.
5. VERIFY SERVER ROOM AND TELEPHONE/DATA SYSTEM POWER REQUIREMENTS WITH TENANT
6. FIRE SAFE ALL PENETRATIONS AT FLOOR OUTLETS WITH NON COMBUSTIBLE FIRE SAFING MATERIAL TO MEET OR EXCEED THE FIRE RATING OF THE SURROUNDING MATERIAL..
7. ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES.

8. I.T. CONSULTANT TO PROVIDE INFORMATION REGARDING VOICE OVER INTERNET PHONE SERVICE IN SHARED CONFERENCE ROOM.
9. AT POWER AND/OR DATA LOCATIONS THAT ARE NOT IN USE, PROVIDE AND INSTALL BLANK PLATE COVER UNO.

NOTE: LEGEND IS TYPICAL. SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.

AN "X" OVER ANY SYMBOL INDICATES THAT ITEM TO BE REMOVED.

AN "N" ON ANY SYMBOL INDICATES THAT ITEM TO BE NEW.

AN "R" ON ANY SYMBOL INDICATES THAT ITEM TO BE RELOCATED.

	DEMO DUPLEX OUTLET		NR NEW RECESSED DUPLEX OUTLET		EXISTING FLOOR DUPLEX AND TELE/DATA OUTLET
	EXISTING DUPLEX OUTLET		X DEMO BLANK		N NEW FLOOR DUPLEX AND TELE/DATA OUTLET
	N NEW DUPLEX OUTLET		X EXISTING BLANK		
	EXISTING DUPLEX OUTLET- DEDICATED		PP EXISTING POWER POLE		P NEW JUNCTION BOX FOR POWER
	N NEW DUPLEX OUTLET- DEDICATED		PP NEW POWER POLE		TD NEW JUNCTION BOX FOR TELEPHONE AND DATA
	EXISTING QUAD OUTLET		D DEMO SWITCH		X DEMO TELEPHONE AND/ OR DATA OUTLET
	N NEW QUAD OUTLET		X EXIST SWITCH		T EXISTING TELEPHONE AND/ OR DATA OUTLET
	EXISTING GFI DUPLEX OUTLET		N NEW SWITCH		N NEW TELEPHONE AND/ OR DATA OUTLET
	N NEW GFI DUPLEX OUTLET		X EXISTING CARD READER		
	EXISTING 220 v OUTLET		N NEW CARD READER		N NEW RECESSED TELEVISION OUTLET
	N NEW 220 v OUTLET		DEM DEMO FLOOR DUPLEX AND TELE/DATA OUTLET		N NEW AUDIO/VISUAL OUTLET